

Standing Structure Survey of a Portion of San Pedro Creek, San Antonio, Bexar County, Texas



by

Steve A. Tomka, Antonia L. Figueroa, Laura Carbajal,
Elizabeth Pople, and William A. Dupont

Principal Investigators

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Prepared for:
San Antonio River Authority
100 East Guenther Street
San Antonio, Texas 78283-9980



Prepared by:
Center for Archaeological Research
The University of Texas at San Antonio
One UTSA Circle
San Antonio, Texas 78249-1644
Technical Report, No. 51

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Management Summary:

The Center for Archaeological Research (CAR) of The University of Texas at San Antonio (UTSA) was contracted by the San Antonio River Authority (SARA) to conduct a Standing Structure Survey along the upper portion of San Pedro Creek beginning at the San Pedro Creek flood diversion tunnel and ending just northeast of South Frio (Alamo) Street. The Standing Structure Survey is part of restoration efforts, sponsored by SARA, along a portion of San Pedro Creek. These restoration efforts involve bank stabilization, riparian vegetation restoration, and the assessment of the architectural resources distributed along the banks of the creek within the project area. The goal of this Standing Structure Survey was to inspect all architectural resources found within the project area and determine whether they are eligible for nomination to the National Register of Historic Places (NRHP), and if eligible, whether they warrant listing.

From December 2012 through March 2013, CAR carried out this Standing Structure Survey in collaboration with the Center for Cultural Sustainability (CCS) of the School of Architecture at UTSA. Before starting the fieldwork, we prepared a GIS base map of the project area. All properties that fell within 150 feet from the centerline of San Pedro Creek were included within the project area. Using these parameters, we visited and photographed 70 properties. Of these, 26 properties are recommended as not eligible for listing on the National Register because they do not meet the minimum age requirement and/or do not possess attributes related to the four NRHP eligibility criteria. Of the remaining 44 properties, 35 are considered potentially eligible for listing on the National Register under one of more of the eligibility criteria. Of these 44 properties, 9 properties are already listed on the National Register. Twelve bridges, three footbridges, and the retaining walls that line the channel of San Pedro Creek from the northern beginning point of the project Area of Potential Effect (APE) to its southern terminus at South Alamo were also inspected. Four of the twelve bridges and all three footbridges are potentially eligible for listing on the NRHP. Finally, several segments of retaining walls along the western and eastern banks of the creek are recommended as potentially eligible for listing on the NRHP. In a letter dated June 29, 2014, the Texas Historical Commission (THC) concurred with these recommendations.

Table of Contents:

| | |
|---|------|
| Management Summary | i |
| Table of Contents | ii |
| List of Figures | iv |
| List of Tables | viii |
| Acknowledgements | ix |
| Chapter 1: Introduction and Area of Potential Effect | 1 |
| The Area of Potential Effect (APE)..... | 2 |
| Chapter 2: Historic Background and Previous Archaeological Investigations | 5 |
| Historic Background..... | 5 |
| Previous Archaeological Investigations | 9 |
| Chapter 3: Theoretical Approach and Field Methods..... | 13 |
| The Theoretical Approach: Cultural Landscapes | 13 |
| Pre-Field Activities..... | 13 |
| Field Methods Employed | 15 |
| Chapter 4: The San Pedro Creek Historic Vernacular Landscape | 17 |
| Chapter 5: Bridges and Retaining Walls..... | 41 |
| Bridges..... | 41 |
| Channel Alignments | 51 |
| Retaining Walls | 56 |
| Chapter 6: Historic Resources along Upper San Pedro Creek | 73 |
| The APE from Kingsbury Street to Travis Street..... | 73 |
| The APE from Travis Street to Dolorosa Street..... | 76 |
| The APE from Dolorosa Street to Durango (Cesar E. Chavez) Boulevard..... | 81 |
| The APE from Durango (Cesar E. Chavez) Boulevard to El Paso/W. Arsenal Streets..... | 84 |

The APE from El Paso/W. Arsenal Streets to Guadalupe and Camp Streets..... 87

Chapter 7: National Register Eligibility Assessments 93

References Cited 103

Appendix 1: San Pedro Creek Standing Structure Inventory Forms 109

List of Figures:

| | |
|---|----|
| Figure 1-1. Limits of the Standing Structure Survey project APE along San Pedro Creek..... | 3 |
| Figure 3-1. San Pedro Creek Standing Structure Survey project APE | 14 |
| Figure 4-1. A 1730 map drawn by Aguayo illustrating San Pedro Creek | 18 |
| Figure 4-2. The landscape of the San Antonio area in the early eighteenth century..... | 19 |
| Figure 4-3. Map of the San Antonio River valley drawn by Julian C. Munguia dating to March 1764..... | 20 |
| Figure 4-4. Map of the San Antonio River valley drawn by Luis Antonio Menchaca dating to March 1764 | 21 |
| Figure 4-5. The San Antonio Town Tract depicted in 1839 | 22 |
| Figure 4-6. The San Antonio Town Tract depicted in 1845 | 23 |
| Figure 4-7. Map depicting big bend in San Antonio River and its vicinity, drawn by Frieslaben in 1845 | 23 |
| Figure 4-8. Central portion of San Pedro Creek drainage shown on 1852 map | 24 |
| Figure 4-9. San Pedro Creek and its vicinity on the Koch 1873 Bird’s Eye View map. The orange line highlights the San Pedro Creek area beginning just north of Kingsbury Street and ending just south of Arsenal Street. (Note that this map is oriented with north to the bottom of the map) | 26 |
| Figure 4-10. The July 1885 Sanborn Fire Insurance Map (Sheet 8). The San Antonio Gas Company, the Alamo Ice Company, and cluster of warehouses are outlined in blue..... | 27 |
| Figure 4-11. Koch’s 1886 Bird’s Eye View of project area and its vicinity. The orange line highlights the project area | 28 |
| Figure 4-12. A portion of the 1889 J.J. Olsen and Son map of San Antonio showing the project area. The orange line highlights the project area | 29 |
| Figure 4-13. The February 1892 Sanborn Fire Insurance Map (Sheet 6). The San Antonio Gas Company, the Alamo Brewing Company, and the businesses located between Military Plaza and the creek are outlined in blue | 30 |
| Figure 4-14. The February 1892 Sanborn Fire Insurance Map (Sheet 7). The gardens and the Frobose and Santleber Transfer Stables are outlined in blue..... | 31 |
| Figure 4-15. The 1896 Sanborn Fire Insurance Map (Sheet 57). The San Antonio Soap Works is outlined in blue..... | 32 |
| Figure 4-16. The 1896 Sanborn Fire Insurance Map (Sheet 10). The San Antonio Gas Company and the Alamo Brewery are outlined in blue | 33 |
| Figure 4-17. City of San Antonio maps showing the project area (highlighted in orange) in 1904 (a) and 1929 (b)..... | 34 |

| | |
|--|----|
| Figure 4-18. The 1904 Sanborn Fire Insurance Map (Sheet 2). The San Antonio Soap Works is outlined in blue | 35 |
| Figure 4-19. The 1904 Sanborn Fire Insurance Map (Sheet 3). The San Antonio Gas and Electric Company, the Lone Star Brewery Depot, and wooden bridges are outlined in blue | 36 |
| Figure 4-20. The 1911 to 1924 Sanborn Fire Insurance Map (Sheet 2). Peter Hobel’s Print Shop, additional businesses, and wooden bridges are outlined in blue..... | 37 |
| Figure 4-21. The 1911 to 1924 Sanborn Fire Insurance Map (Sheet 3). Wooden bridges are outlined in blue | 38 |
| Figure 4-22. The August 1922 Sanborn Fire Insurance Map (Sheet 2). The Auto Wheel Repair shop, the Auto Repair and Paint Spraying shop, multiple residences, and the concrete bridge are outlined in blue..... | 39 |
| Figure 4-23. The December 1922 Sanborn Fire Insurance Map (Sheet 2). The San Fernando Cathedral School and the Casa de Mexico Building are outlined in blue..... | 40 |
| Figure 5-1. Detail of Munguia map showing two crossings of San Pedro Creek | 41 |
| Figure 5-2. An example of a low-water crossing at Dolorosa Street (1870s, UTSA – digital photo collection) | 42 |
| Figure 5-3. The 1873 Bird’s Eye View drawn by Koch showing the connections between the creek’s east and west banks. Project area is highlighted in orange. (Note that this map is oriented with north to the bottom of the map) | 43 |
| Figure 5-4. Koch’s 1886 Bird’s Eye View depicting bridges at Kingsbury Street and Herff Street at the northern and southern ends of the project area. Project area is highlighted in orange..... | 44 |
| Figure 5-5. Jules Appler’s 1909 map of San Antonio. Project area is highlighted in orange | 45 |
| Figure 5-6. San Pedro Creek channel and wooden bridge at N. Laredo and Camaron Streets, ca. 1927-1931 (UTSA - digital photo collection) | 46 |
| Figure 5-7. Sheet 9 of the 1896 Sanborn Fire Insurance Map showing five footbridges, outlined in blue, between Dolorosa and Commerce Streets | 47 |
| Figure 5-8. Construction detail of one of the bridges over San Pedro Creek, ca. 1968 (UTSA – digital photo collection) | 48 |
| Figure 5-9. Detail of railing assembly of footbridge over San Pedro Creek (UTSA – digital photo collection) | 48 |
| Figure 5-10. Map drawn in 1836 showing the Alamo and the surrounding area..... | 51 |
| Figure 5-11. Portion of the map drawn for Santa Anna in 1836 by Colonel Ygnacio de Labastida, Commander of Engineers, showing La Villita and the settlement of Villa de Béxar. Note westward curve in San Pedro Creek channel west of Villa de Béxar | 52 |

| | |
|---|----|
| Figure 5-12. In the Frieslaben 1845 map of the creek, the large bend west of the settlement is not depicted..... | 53 |
| Figure 5-13. Composite map of San Pedro Creek channel near headwaters of San Pedro Springs..... | 54 |
| Figure 5-14. Composite map of San Pedro Creek channel in central and northern project area | 55 |
| Figure 5-15. Sheet 8 of 1888 Sanborn Fire Insurance Map. The straight-line depictions of portions of San Pedro Creek are highlighted in orange | 57 |
| Figure 5-16. On Sheet 8 of the 1888 Sanborn Fire Insurance Map the banks of the creek are represented with straight lines (highlighted in orange)..... | 58 |
| Figure 5-17. Undulating lines (highlighted in orange) on Sheet 6 of the 1892 Sanborn Map suggest areas where the creek is not lined by a retaining wall..... | 59 |
| Figure 5-18. Sheet 7 of the 1892 Sanborn Map with the portion of the creek south of W. Nueva Street depicted as an undulating linear feature (highlighted in orange) | 60 |
| Figure 5-19. Sheet 3 of the 1911-1924 Sanborn Fire Insurance Map, note the straight-line boundaries (highlighted in orange) of San Pedro Creek | 61 |
| Figure 5-20. Sheet 2 of the 1922 Sanborn Map showing banks depicted as straight lines (highlighted in orange)..... | 62 |
| Figure 5-21. The 1929 map of the suburbs of San Antonio shows portions of San Pedro Creek that appear to be flowing underground (highlighted in orange; transparent orange represents areas where creek is visible aboveground) | 63 |
| Figure 5-22. Work along the channel of San Pedro Creek sometime in the late 1940s (UTSA – digital photo collection) | 66 |
| Figure 5-23. Wall showing two sequences of construction, both likely post-dating 1940s..... | 68 |
| Figure 5-24. Stone wall along west bank of creek, likely WPA-era construction | 69 |
| Figure 5-25. Stone wall along San Pedro Creek showing two construction episodes, potentially dating to the late 1940s and thereafter | 69 |
| Figure 5-26. Thick veneer of cement on retaining wall on west bank of San Pedro Creek just south of W. Commerce Street. Note possible original rock retaining wall under bridge | 70 |
| Figure 5-27. Original stone wall visible under peeling cement veneer, west bank of river just north of Dolorosa Street | 70 |
| Figure 5-28. Possible outer rock veneer peeling off an older stone wall along west bank of creek between Dolorosa and Nueva Streets..... | 71 |
| Figure 6-1. The APE from Kingsbury Street to Travis Street..... | 73 |
| Figure 6-2. The APE from Travis Street to Dolorosa Street..... | 76 |
| Figure 6-3. The APE from Dolorosa Street to Durango (Cesar E. Chavez) Boulevard..... | 81 |

| | |
|---|----|
| Figure 6-4. The APE from Durango (Cesar E. Chavez) Boulevard to El Paso/W. Arsenal Streets | 84 |
| Figure 6-5. The APE from El Paso/W. Arsenal Streets to Guadalupe Street | 87 |
| Figure 6-6. The APE from Guadalupe Street to Camp Street..... | 89 |
| Figure 7-1. Historic properties documented during the Standing Structure Survey and their proposed NHRP eligibility status (northern half of project area) | 97 |
| Figure 7-2. Historic properties documented during the Standing Structure Survey and their proposed NHRP eligibility status (southern half of project area) | 98 |

List of Tables:

| | |
|--|-----|
| Table 5-1. Chronology and Construction Details for Bridges Shown on the Sanborn Fire Insurance Maps of the Project Area | 50 |
| Table 5-2. Retaining Wall Segments along Portion of San Pedro Creek within the APE | 67 |
| Table 7-1. Properties Recommended as Potentially Eligible for Listing on the NRHP or Already Listed on the NRHP | 94 |
| Table 7-2. Properties Not Recommended as Eligible for Listing on the NRHP..... | 95 |
| Table 7-3. Recommended NRHP Eligibility Status of Bridges within the Project APE | 99 |
| Table 7-4. Proposed NRHP Eligibility of Retaining Wall Segments along Portion of San Pedro Creek within the APE..... | 100 |

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Chapter 1: Introduction and Area of Potential Effect

In December 2012, the Center for Archaeological Research (CAR) at The University of Texas at San Antonio (UTSA) was contracted by the San Antonio River Authority (SARA) to conduct a Standing Structure Survey along a portion of the San Pedro Creek. The Standing Structure Survey is part of creek restoration efforts sponsored by the SARA. The creek restoration efforts involve bank stabilization, riparian vegetation restoration, and the assessment of the architectural resources distributed along both banks of the creek within the project area. The creek restoration project falls under the jurisdiction of the City of San Antonio's Office of Historic Preservation (COSAOHP) and the Antiquities Code of Texas. Therefore, coordination on the project included the COSAOHP and the Architecture Division of the Texas Historical Commission (THC).

The CAR teamed with the Center for Cultural Sustainability (CCS) of the School of Architecture at UTSA to conduct the Standing Structure Survey and assess the National Register of Historic Places (NRHP) eligibility of the properties that fell within the project area. To be eligible for listing on the NRHP, a property must meet the criteria outlined in 36 CFR 60.4:

- The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association and
- (a) that are associated with events that have made a significant contribution to the broad patterns of our history; or
 - (b) that are associated with the lives of persons significant in our past; or
 - (c) that embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
 - (d) that have yielded, or may be likely to yield, information important to prehistory or history.

In addition to these criteria, another aspect of the nomination process is the area of significance under which a property is eligible. Typically, the areas under which individual standing structures or entire districts are nominated include Community Planning and Development, Exploration and Settlement, Industry, Commerce, Politics/Government, Education, Entertainment/Recreation, Social History, and Architectural Design. Level of significance may be designated as local, regional, state, and/or national depending on scale of importance of the property under the chosen criteria.

For a property to be eligible for consideration for listing on the National Register, the property has to be at least 50 years old or be in great danger of destruction while meeting one or more of the significance criteria. Therefore, the large majority of the properties built since 1963 are not eligible for consideration at this time. Sanborn Fire Insurance Maps and deed research were used to identify those structures that dated to the first half of the twentieth century and that, therefore, warranted examination. Parking lots and empty lots typically were not considered eligible for listing on the National Register.

The Area of Potential Effect (APE)

The San Pedro Creek bank stabilization and creek restoration project area encompasses the west and east descending banks of San Pedro Creek for a distance of approximately 1.5 miles. The project corridor begins between Columbus and Kingsbury Streets, at the flood diversion tunnel just east of Interstate-35. The corridor continues south past Military Plaza and the Spanish Governor's Palace and terminates just northeast of S. Frio (Alamo) Street (Figure 1-1). The San Pedro Creek flood diversion tunnel starts near the Interstate-35 and Interstate-10 interchange, between N. Santa Rosa Street on the west and Camaron Street on the east, where the intake approach channel is located. The tunnel outlet is located north of Guadalupe Street. The construction of the tunnel began in 1987 and was completed in 1997 (SARA 2013).

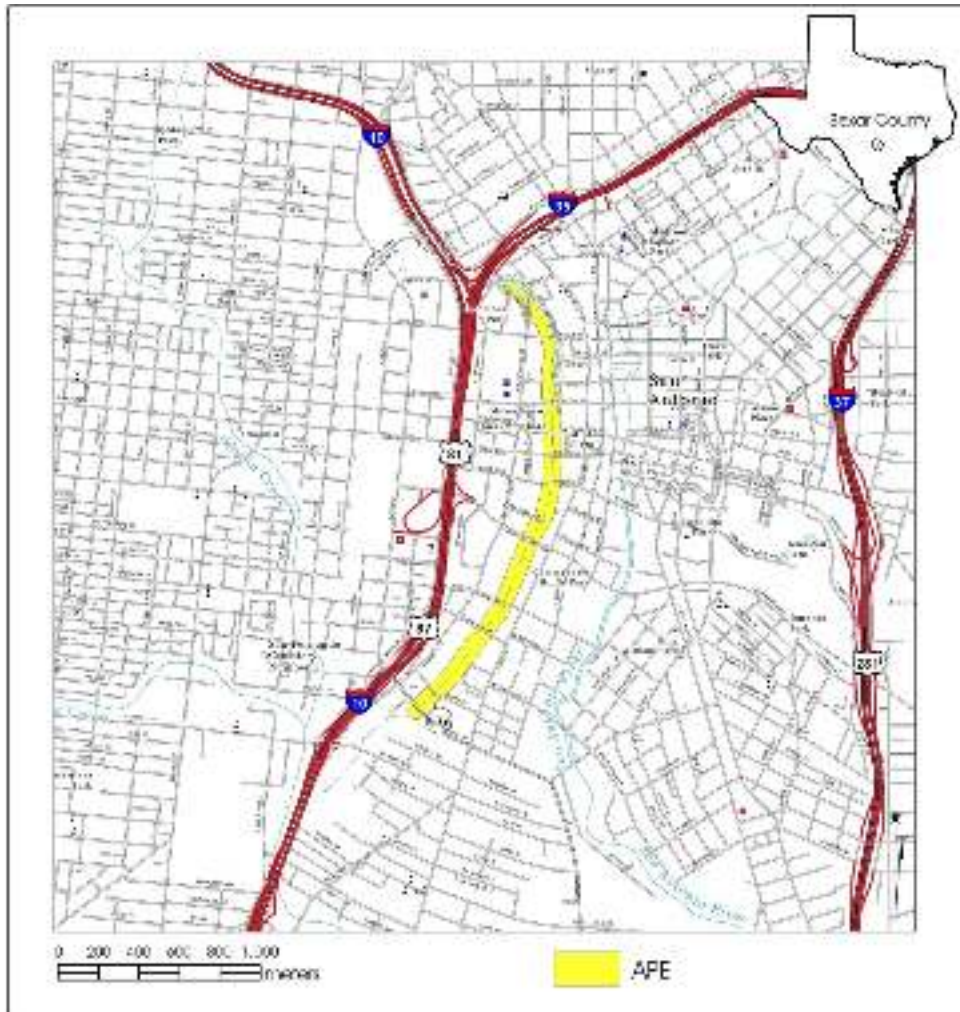


Figure 1-1. *Limits of the Standing Structure Survey project APE along San Pedro Creek.*

This report contains the National Register eligibility recommendations of the CAR and CSS regarding the 70 properties that fall within the 300-foot project boundary. Of these, 26 properties are recommended as not eligible, 35 are considered potentially eligible, and nine properties are already listed on the National Register. Twelve bridges, three footbridges, and the retaining walls that line the channel of San Pedro Creek from the northern beginning point of the project Area of Potential Effect (APE) to its southern terminus at South Alamo were included in this survey. Four bridges, all three footbridges, and several segments of retaining walls are recommended as potentially eligible for listing on the NRHP. In a letter dated June 29, 2014, the THC concurred with these recommendations.

The report consists of seven chapters and an appendix. Following the project introduction in this chapter, Chapter 2 presents the historic background relevant to the project area and summarizes previous archaeological investigations conducted within and in close proximity to the Area of Potential Effect (APE). Chapter 3 provides a brief outline of the approach taken to assess and document the NRHP eligibility of the properties found within the APE. Chapter 4 describes the San Pedro Creek historic vernacular landscape and the changes it has gone through from the early eighteenth century to the late twentieth century. Chapter 5 discusses the bridges and the retaining walls found along the creek. Chapter 6 focuses on the other architectural features present within the project APE, namely the structures. Finally, Chapter 7 summarizes the National Register eligibility assessments of the properties examined. Appendix 1 provides the Standing Structure Survey Forms for each of the recommended properties that fell within the San Pedro Creek APE.

Chapter 2: Historic Background and Previous Archaeological Investigations

The portion of the San Pedro Creek that is the focus of the current project runs adjacent to Military Plaza and numerous historically significant parts of downtown San Antonio. Within this APE, and due to the size and predictability of the springs that fed the creek (San Pedro Creek), there is high potential for finding archaeological sites that may have been occupied for long periods during the prehistory of the region. When such sites have well-stratified and intact cultural materials, they become crucial to our efforts to reconstruct hunter-gatherer adaptations. The potential for significant prehistoric resources is understood by all parties associated with this project. However, rather than discussing the prehistoric resources, this project focuses on standing structures and architectural features along the San Pedro Creek. In this chapter, we discuss the period of time that stretches from the early Spanish expeditions of the mid-sixteenth to the mid-twentieth century.

Historic Background

Protohistoric

The period predates the establishment of missions among the east Texas groups and the founding of *Mission San Antonio de Valero* in 1718 in San Antonio. During the Protohistoric Period there was sporadic interaction between Native American groups and Spanish explorers. For instance, the first documentation of a Spanish explorer in Texas was Alonso Alvarez de Pineda in 1519. According to Chipman and Joseph (2010), Pineda and his crew were the first explorers to view the entirety of the Texas coast; however, as noted by Chipman and Joseph (2010) there is no evidence that they actually landed on the coast. Numerous other encounters between the indigenous communities and Europeans also were recorded during this period, including that of Cabeza de Vaca (1528-1536). The vessel carrying Cabeza de Vaca and his men landed near Galveston Island in 1528, making them the first Europeans in Texas (Chipman and Joseph 2010). Rene Robert Cavalier Sieur de La Salle established the earliest European settlement in this portion of Texas in 1685.

The Colonial and Mission Periods in San Antonio (ca. 1700-1800)

In 1565, the first Spanish presidios (forts) in North America were established. The first documented presidio was San Agustin on the Atlantic coast of Florida (Moorhead 1991:27). Spanish presidios in the New World served both to protect citizenry and to project Spanish power. They signaled to other European nations that the territory was occupied and that Spain was ready to defend its interests in the New World (Moorhead

1991:27). During the late 1600s, Spain established several missions in far West Texas (Habig 1990). This initial wave of colonization was followed by the construction of missions in East Texas during the early 1700s. The missions in San Antonio were established between 1718 and 1731. The records of the first location for the *Presidio San Antonio de Bexar* and *Mission San Antonio de Valero* are ambiguous. However, Don Martin de Alarcón (Hoffman 1935) apparently first established them in 1718 near the headwaters of San Pedro Creek. San Antonio de Valero was relocated at least once before its construction at the current location.

Marques de San Miguel de Aguayo became the governor and captain general of Coahuila and Texas in 1719 (Buckley 1911). In East Texas, Aguayo re-established the presidios and installed new missions (Buerkle 1976). The expedition led by Aguayo into Texas was to re-supply the San Antonio and East Texas missions and presidio. Upon his return to San Antonio he found that the granary at the presidio, along with several of the soldiers' *jacales* (thatched-roofed huts), had been destroyed by fire. Although, Aguayo ordered the construction of a new presidio, harsh weather delayed the progress, and it was never completed (Buckley 1911).

Mission San José y San Miguel de Aguayo was established in the area near the *Mission San Antonio de Valero* followed by the missions *Nuestra Señora de la Purísima Concepción de las Hasinai*, *San Francisco de Espada*, and *San Juan Capistrano*. *Mission San José y San Miguel de Aguayo* had been founded in February 1720 by Fray Antonio Margil de Jesus. Reportedly, it was first located near the confluence of San Pedro Creek and the San Antonio River (Habig 1968:29-30). In 1727, the mission was relocated to its current place on the west side of the San Antonio River. The establishment of *Villa de San Fernando* occurred in 1731. The construction of *Villa de San Fernando* was part of the recommendation in 1719 by the Council of the Indies that 200 families be recruited from the Canary Islands and the kingdom of Galicia in Spain to form a series of settlements along the frontier (Chipman and Joseph 2010). The community of San Fernando was formed by the arrival of 56 individuals from the Canary Islands.

In 1790, the College of Zacatecas dispatched Fray Manuel Silva to evaluate the state of the missions. Based on his evaluations, he recommended that *Mission San Antonio de Valero* should be secularized and that the other four missions be reduced to only two (Habig 1968). The decree to close *Mission San Antonio de Valero* was written on January 9, 1793, and in April of the same year, a final inventory of the holdings of the mission was carried out (Habig 1977:80-83).

Early Texas (1800-1836)

In 1801, the *Compania Volante de San Carlos del Alamo de Parras* from Coahuila occupied the *Presidio de San Antonio de Bexar*. They established themselves in the old mission buildings at San Antonio de Valero and erected barracks (Fox et al. 1976). This area of recruitment was named “del Alamo” for the small town near Parras, Mexico (Habig 1968:6). Led by Father Miguel Hidalgo, a revolution started in Mexico in 1811 that spread to Texas, including San Antonio (Faulk 1962). A coup resulted in the overthrowing and arrest of Governor Salcedo and Lieutenant Colonel Herrera by Juan Bautista de las Casas (Faulk 1962:222). Las Casas assumed office as Governor of Coahuila; however, he was captured in July of 1811, convicted of high treason, and sentenced to death. Salcedo returned to his position by December of 1811 (Faulk 1962).

Spain’s sovereignty in Mexico ended in 1821 (Menchaca 1937). Spain attempted to regain control of Mexico in 1829, but efforts failed due in part to Santa Anna (Callcoat 2010). The same year, Santa Anna became the president of Mexico, and the following year he dispatched an army commanded by General Cos to put down a civil war in Coahuila and reinforce the garrisons in Texas. On March 6, 1836, the Battle of the Alamo occurred, and the Mexican army overwhelmed the Alamo and Texan Troops (Barker and Pohl 2014). The following April, Santa Anna’s forces were defeated at the Battle of San Jacinto. Santa Anna was captured, and Mexican forces withdrew. While a state of war continued, the defeat of the Mexican Army effectively ended the conflict (Cox 1997).

The Republic of Texas (1836-1845)

Sam Houston was inaugurated as the first president of the Republic of Texas in 1836. The Texas Congress set the boundaries for the newly formed Republic (Nance 2010), declaring the Rio Grande the southern boundary and Louisiana the eastern border. The population of San Antonio increased due to immigration. The new City Council of San Antonio elected John W. Smith as mayor in 1837 (Scanlan 2010). Mexico refused to recognize the independence of Texas and General Rafael Vasquez, with 700 soldiers, raided San Antonio (de la Teja 2010). This resulted in the Battle of Salado Creek when Mexican forces finally withdrew from the area (Cutrer 2010).

Statehood, Antebellum and Civil War

In 1845, the United States Congress approved the Texas State Constitution, and Texas was admitted as a state (Wallace 1965). The annexation of the Republic by the United States in February 1846 solved, in part, the new state’s financial problems but not its border problems. Mexico continued to contest the disputed territory, resulting in the movement of American troops across the Nueces River, under General Zachary Taylor (Webb 1952). Despite problems, the time between annexation and secession marked the period of

the most rapid population growth in the state's history. San Antonio also experienced this growth, and between 1850 and 1860, the city's population increased from 3,488 to 8,235 (Bybee 1980:33).

The Civil War had a pronounced effect on the growth and economy of San Antonio. The first effect of the war was the blockade of the Gulf Coast in 1861 (Delaney 1955). The majority of the population within the state was derived from the south, and while ranching and subsistence farming were probably the major economic activities, cotton-based agriculture was the major cash crop.

After the Civil War, San Antonio experienced a brief period of hardship, but the cattle industry helped stabilize conditions to some degree. Funding for city improvements remained scarce, and the water system continued to be a public health hazard (Cox 1992:12). In 1866, the unsanitary conditions in San Antonio resulted in a cholera plague (Cox 1992:12).

The Late Nineteenth and Early Twentieth Century

In 1877, the arrival of the Galveston, Harrisburg, and San Antonio Railroad line transformed San Antonio. Prior to this, goods were transported primarily by wagon over poorly maintained roads. The presence of the railroad revitalized the city. New businesses, such as the Alamo Cement Company, were developed (Odom and Young 1985:50), and although a variety of infrastructure improvements were made, sanitation continued to be a problem for the city (Cox 1992). With rail now present, a variety of new products were now readily available. These included commercially made brick as a building material. By 1890, the city had 29.5 miles of graveled road, and that same year the mule-drawn trolley system was replaced with electric powered coaches. Between 1879 and 1892, many of the landmark buildings that dot downtown San Antonio were constructed (Cox 1992:14).

In the early twentieth century, the two major industries that drove the San Antonio economy centered on cattle and Fort Sam Houston (Fehrenbach 1978:149). With the onset and America's entry into World War I, San Antonio's growth accelerated. In the 1920s, it served as a refuge for individuals fleeing the Mexican Revolution, many of which became permanent residents (Cox 1992; Fehrenbach 1978). By 1930, San Antonio was again the largest city in the state, with over 230,000 individuals (Cox 1992). The Great Depression dramatically affected the San Antonio economy. Especially troublesome for the City were cuts in military spending. However, with the onset of World War II the San Antonio economy again flourished (Cox 1992).

Previous Archaeological Investigations

Several archaeological projects and at least one neighborhood survey have been conducted along the project area. The CAR-UTSA (Cox 1992; Fox 1979) has performed the majority of the archaeological surveys and archival research of the project area. Important historic properties and archaeological sites, which are listed in these reports and on the Texas Historical Commission Site Atlas, found along the APE are briefly discussed in this section.

In 1979, a neighborhood survey was conducted along San Pedro Creek for the United States Army Corp of Engineers-Fort Worth District (USACE, FTW). The CAR was contracted by the USACE to prepare a historical, architectural, and archaeological survey along the San Antonio River and San Pedro Creek (Fox 1979). The portion of San Pedro Creek surveyed stretched from San Pedro Park to Guadalupe Street, encompassing much of the current project area. Important historical resources mentioned by Fox (1979) include the *San Francisco di Paola Church* near Columbus Park that was built in 1927 (Hagner 1947). This building is located between Santa Rosa and Martin Streets but is not listed in the Texas Site Atlas as a significant resource. A stone building associated with the Menger Soap Works (41BX503) was also documented, and it was constructed in 1862 (Fox 1979; Ivey 1979). The Spanish Governor's Palace was documented again at this time, as well as the Vogel Belt Complex (a block of late nineteenth-century stores; Fox 1979).

In 1992, the CAR conducted an archaeological pedestrian survey east of San Pedro Creek and in close proximity to Military Plaza (Cox 1992). This survey was part of archaeological investigations associated with the downtown San Antonio Tri-Party Improvements project sponsored by the San Antonio Metropolitan Transit Authority.

In 1989, the SARA contracted the CAR to investigate the history and cultural resource potential of a section of the San Pedro Creek near the intersection of the Five Points (Uecker 1991). Five Points is located north of the current project limits. Archival research documented residential occupation along San Pedro Creek stretching from the late 1880s to the early 1900s.

A number of highly significant historic properties are found near San Pedro Creek. One of these is site 41BX508, the Menger Soap Works. It is located at the corner of Martin and Camaron Streets. This site borders the west bank of the San Pedro Creek. CAR archaeologists conducted investigations at the site during 1979 (Ivey 1979). The site was in use from the mid-nineteenth century to mid-twentieth century. At the time of investigations, the site consisted of stone buildings, boiler pads, and a chimney base. The structure was restored and became part of an apartment complex.

In 1850, Johanna Nicholas Simon Menger founded the Menger Soap Works. The Soap Works was one of the first industries in San Antonio, and the complex was one of the few remaining pre-Civil War manufacturing buildings in the Southwest. At the conclusion of the investigations, it was recommended that any future disturbances along the east side of the Soap Works complex should be preceded by archaeological excavations to more precisely define the western alignment of the San Pedro *Acequia* (Ivey 1979).

The Main and Military Plaza Historic District listed on the National Register extends onto both banks of San Pedro Creek. Established under the National Historic Preservation Act of 1966 as “a catalog of a major part of the heritage of the American people,” a historic district is “a geographically definable area, urban or rural, with significant linkage or continuity of sites, buildings etc., which are related historically or esthetically” (Steely 1984:iv). Military Plaza (*Plaza de las Armas*), located immediately east of the creek, was established in 1722 by the Spanish Garrison, which places it within the Spanish Colonial Period. Another representative structure of the Spanish Colonial Period is the Spanish Governor’s Palace, built in 1740. It is a one-story Spanish Colonial town house. Originally, it housed a *comandancia* (headquarters) and the residence of the Captain of the Presidio of San Antonio de Bexar. The palace is now a City Museum. Archaeological work was conducted in 1976 and consisted of test units that were placed on the northern portion of the complex, just south of Commerce Street (Fox 1977). Ceramics recovered during the testing revealed that the northern portion of the building dated to 1725. Excavations revealed that the only intact Spanish Colonial architectural remnants consist of buried fragments of the front wall and two caliche floors.

In 1996, Fox returned to the Spanish Governor’s Palace to examine the condition of the foundations of the structure and their depth (Fox 1997). Foundations of the building were encountered 40-43 inches below the level of the present ground surface (Fox 1997:16). Recent archaeological construction monitoring associated with the installation of electrical conduits and fixtures at the Spanish Governor’s Palace took place in 2010 (Ulrich 2010). During the monitoring, crews were able to identify the 1930s courtyard surface that was present at the time of the first major renovations of the complex. Pockets of undisturbed deposits were identified under the old courtyard surface.

Site 41BX1598 is located just north of the Spanish Governor’s Palace under the footprint of the recently built San Fernando Community Center. The site was investigated by CAR in 2003 (Figueroa and Mauldin 2005). During the investigation, two Spanish Colonial Period trash middens were tested, and a portion of a wall possibly related to the presidio was encountered. Artifact samples recovered from the two Spanish Colonial Period middens included over 1,400 ceramics, over 170 pieces of metal, 291 pieces of chipped

stone debris, two projectile points, six gun flints, over 13,000 fragments of animal bone, 180 glass fragments, and numerous pieces of burned rock (Figueroa and Mauldin 2005).

Site 41BX786, known as the Vollrath Blacksmith Shop, also is along the project corridor. CAR's archaeological investigations of the site for the Bexar County Justice Center parking facility resulted in excavations to the lot that contains the blacksmith shop (Cox et al. 1990). The blacksmith shop dates to the 1870s. CAR concluded that the original blacksmith shop structure was significantly damaged and altered during subsequent building periods and possessed little integrity, which compromised research potential. Therefore, no additional work was recommended at the site.

Chapter 3: Theoretical Approach and Field Methods

The Theoretical Approach: Cultural Landscapes

This report summarizes the results of a survey of standing structures (buildings and bridges) and other architectural features, such as retaining walls, found within the project APE. The analysis of the significance of each historic property is considered within the context of the cultural landscape in which they exist collectively. A cultural landscape is defined in the Secretary of the Interior's *Standards for the Treatment of Historic Properties and Guidelines for the Treatment of Cultural Landscapes* as:

[...] a geographic area (including both cultural and natural resources and the wildlife or domestic animals therein), associated with a historic event, activity, or person or exhibiting other cultural or aesthetic values. There are four general types of cultural landscapes, not mutually exclusive: historic sites, historic designed landscapes, historic vernacular landscapes, and ethnographic landscapes. (1995)

The focus of the present Standing Structure Survey is a portion of the San Pedro Creek itself, therefore we used a theoretical perspective that takes into account the eligibility of the historical properties, not only from the perspective of the eligibility criteria discussed below, but also from the perspective of the integrity of the cultural landscape that they inhabited. Of the four types of cultural landscapes, the project area represents a historic vernacular landscape, which is “a landscape that evolved through use by the people whose activities or occupancy shaped it. [...] the landscape reflects the physical, biological, and cultural character of everyday lives. Function plays a significant role in vernacular landscapes” (Secretary of the Interior 1995).

Pre-Field Activities

To ensure that the current project does meet the requirements of the COSAOHP, CAR staff consulted with COSAOHP staff regarding the project limits. Based on these discussions, it was decided that the Standing Structure Survey would encompass all historic properties (i.e., structures) that fall within a 300-foot wide band running along the project limits. Therefore, we defined the project boundary as including all structures that fell within 150-feet of the centerline of San Pedro Creek. The CAR staff produced a GIS base map to identify the project limits and to ensure all structures on the base map were visited and photographed. This map was updated with new information and color coded to reflect the recommendations of the team regarding the NRHP eligibility of individual structures within the property (Figure 3-1).

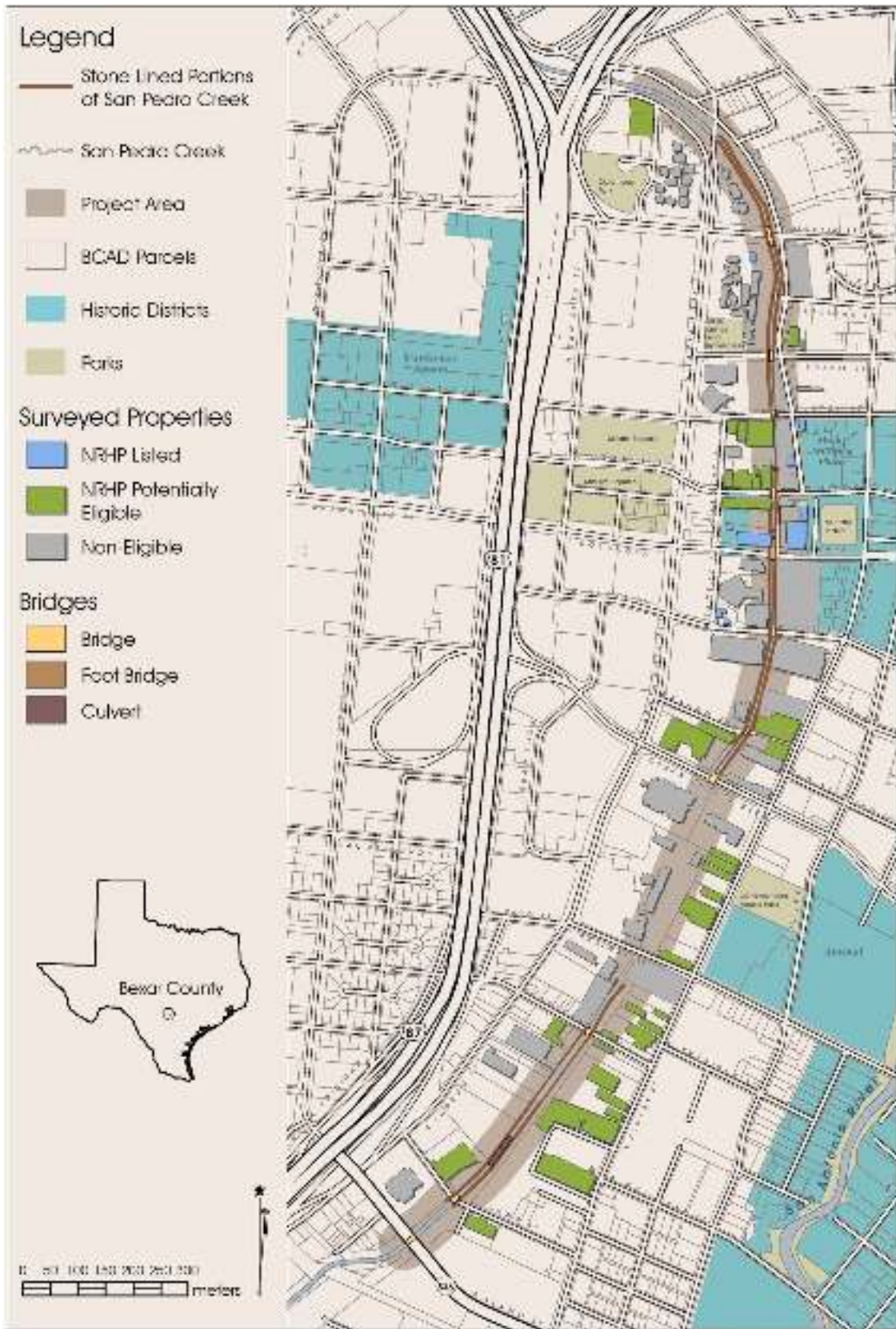


Figure 3-1. San Pedro Creek Standing Structure Survey project APE.

Field Methods Employed

The goal of this Standing Structure Survey was to identify any buildings, structures, and/or objects that may be eligible to be or already listed on the National Register and that might be adversely impacted by the creek restoration project. The Standing Structure Survey is the first phase of an inventory intended to identify and catalogue the historic resources found within the APE.

Because one of the key criteria for NRHP eligibility of properties is the age of the property, the first step in the project was the determination of the construction date of the structures that fell within the project corridor. Bexar County Deed Records, Sanborn Fire Insurance Maps, and City Directories were consulted to ascertain dates of construction of properties found within the project APE.

The Architecture Division of the Texas Historical Commission does not have a required standardized survey form for conducting Standing Structure Surveys. Therefore, for the purposes of this survey, we have employed a slightly modified version of the State of Louisiana Survey Form (see Appendix 1; Louisiana Division of Historic Preservation [LDHP] 2010). Upon completing the documentation of each resource within the APE, a recommendation was made regarding the eligibility of the resource for nomination to the National Register specifically identifying the criteria under which the property may warrant listing (Criterion A-D). Alternatively, the resource may be identified as having unknown eligibility status if such cannot be established based on the survey alone. Documentation of the standing structures occurred during on-site visits.

Photography

Architectural photographs of the structures/resources were taken during the on-site visit. According to the *Louisiana Historic Resource Inventory Guidelines*, two types of photographs, perspective and elevation, should be used for survey documentation. Perspective photographs “[show] two sides of a structure taken at a 45-degree angle thereby documenting its characteristics as a three-dimensional form including size and volume,” and “the structure should fill 75 percent of the frame, thereby including some environmental context” (LDHP 2010:7). Elevation photographs were taken of one side of the structure, head on, with the structure filling the frame, and this perspective “approximates an elevation architectural drawing” (LDHP 2010:7). Furthermore, “[e]levation photographs provide the best documentation of shape and proportion whereas perspective photographs offer a three-dimensional view of the structure” (LDHP 2010:7).

At least two perspective photographs and one elevation photograph were taken for each structure. The two perspective photographs include the front of the structure and one side, while the other includes the back of the structure and the other side. In the cases of uniquely shaped structures, additional frames were taken to document all of the building. Unfortunately, access could not be gained to all of the properties. In such

instances, the project photographer endeavored to photograph the structure from outside of the property fence and without entering the target lot. Therefore, the property photograph may not match the best practices described above.

Documentation

A brief narrative is provided for each property that consists of a structure or building, regardless of its proposed or existing eligibility status. The only properties that have no narrative descriptions are parking lots and lots that were devoid of standing structures at the time of the survey.

A Standing Structure Survey Form was completed for each structure, building, bridge, or retaining wall, assessed as potentially eligible to the NRHP (see Appendix 1). No survey form was completed for parking lots or empty lots that may have been formerly occupied by buildings. Similarly, no survey form was completed for any property that for obvious reasons not eligible to the NRHP (i.e., it was constructed after 1963). With the exception of the empty lots near the northern terminus of the project (Properties 103281 and 103284), all other empty lots are defined as not eligible to the National Register. The Standing Structure Survey Form compiled information on nine clusters of characteristics. They consist of property identification, historical data, descriptions, construction technique and details, context, possible threats, significance, integrity, and eligibility designation. This information allowed the project historic architect to document unique features on the structure or tie descriptions to other structures within the project area. The photographs were linked to the forms so that a visual image accompanied the descriptions.

Chapter 4: The San Pedro Creek Historic Vernacular Landscape

The first descriptions of San Pedro Creek and its vicinity come from the diaries of the late seventeenth- and early eighteenth-century Spanish expeditions that crossed the area on their way to east Texas. In 1709, an expedition led by Espinoza-Olivares-Aguirre came upon a set of springs, just north of what is now downtown San Antonio. Olivares describes the springs as limestone steps with water issuing from several springs (Tous 1930). The Alarcón expedition was the second to visit the springs, which they reached on April 25, 1718. The expedition's diarist, Fr. Francisco Céliz, describes the area surrounding the springs as thickly wooded with several different kinds of trees, including elms, poplars, hackberries, oaks, many mulberries, brambleberries and large grapevines (Tous 1930). The expedition members also visited the confluence of San Pedro Creek and the San Antonio River and found it unsuitable for the construction of irrigation canals because the "river flows in a very deep channel" (Hoffman 1935:48-49). *Villa de Béxar* and *Presidio de Béxar* were established nearby, and *Mission San Antonio de Valero* was founded a few days later downstream of the springs.

The first map showing the San Pedro Creek (Figure 4-1) area dates to 1720, and it was drawn by Marqués de San Miguel de Aguayo, who was the Governor of the province at the time. The map shows the San Antonio River, San Pedro Creek, the *Presidio de Béxar*, the Mission of San Antonio, and the *Villa de Béxar*. The map also contains annotations related to the potential uses of the lands surrounding the two streams. The land that falls south of the presidio is identified as land suitable for irrigated agriculture. The land immediately north of the presidio was to be set aside for the soldiers. An irrigation canal is shown to connect San Pedro Creek with the San Antonio River, and the lands on both sides of this ditch are identified as suitable for irrigated agriculture of maize and wheat. The area west of San Pedro Creek is shown as a savannah with oak and cypress trees and shorter woody vegetation.

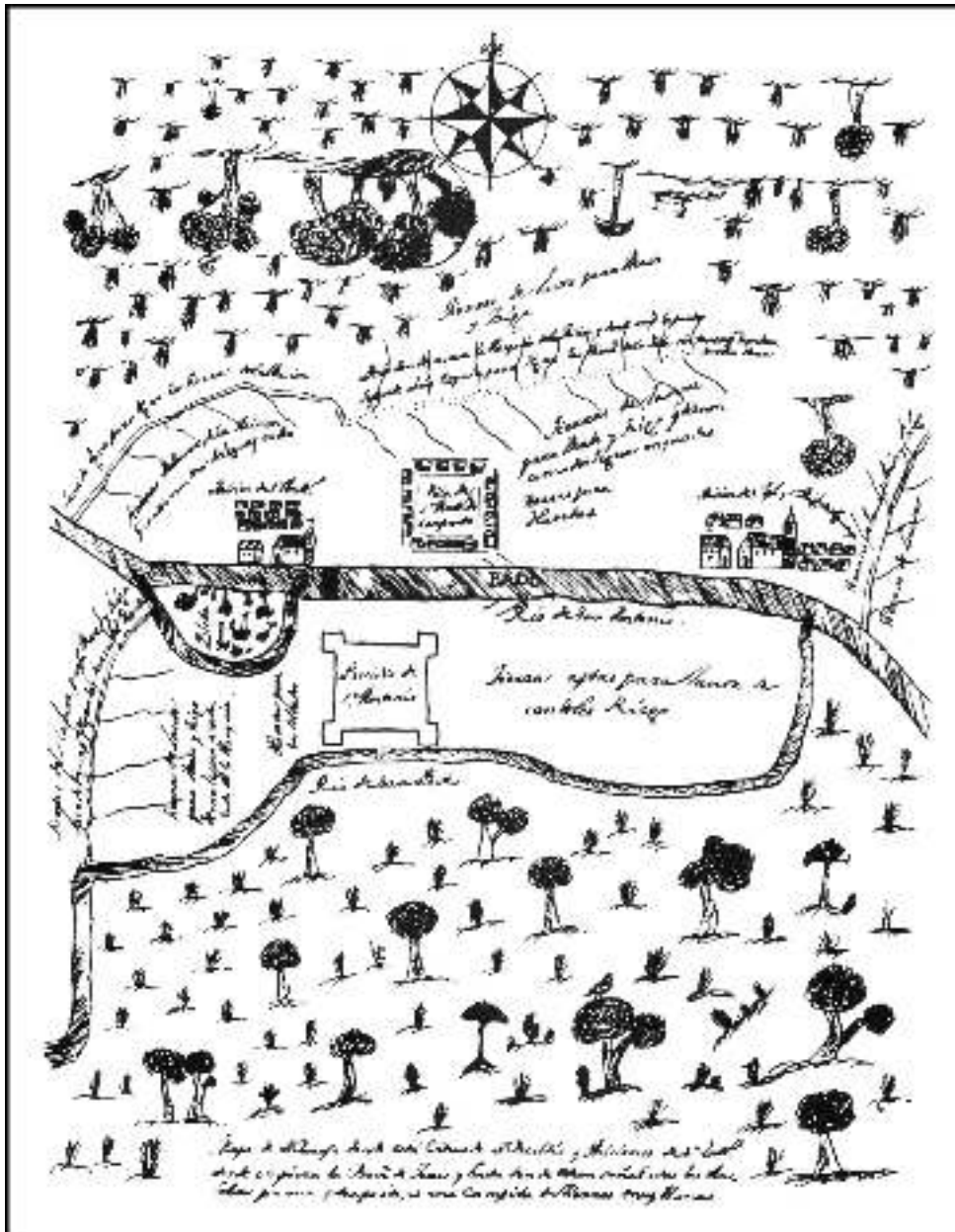


Figure 4-1. A 1730 map drawn by Aguayo illustrating San Pedro Creek.

In 1720, two years after the establishment of *Villa de Béxar*, *Mission San José y San Miguel de Aguayo* was founded on the banks of the San Antonio River, and in 1724, *Mission Valero* was moved for the third and final time to its current location. Other major changes took place in the region in 1731 when three east Texas missions were relocated to the San Antonio River valley. The same year, fifteen families and two single men, Canary Islands colonists, arrived to establish *Villa de San Fernando*, named after the Fernando, Prince of Asturias, the son of King Philip V (Cox 1997:10). In those early years, San Pedro Creek served as the western edge of the occupied lands (Figure 4-2).

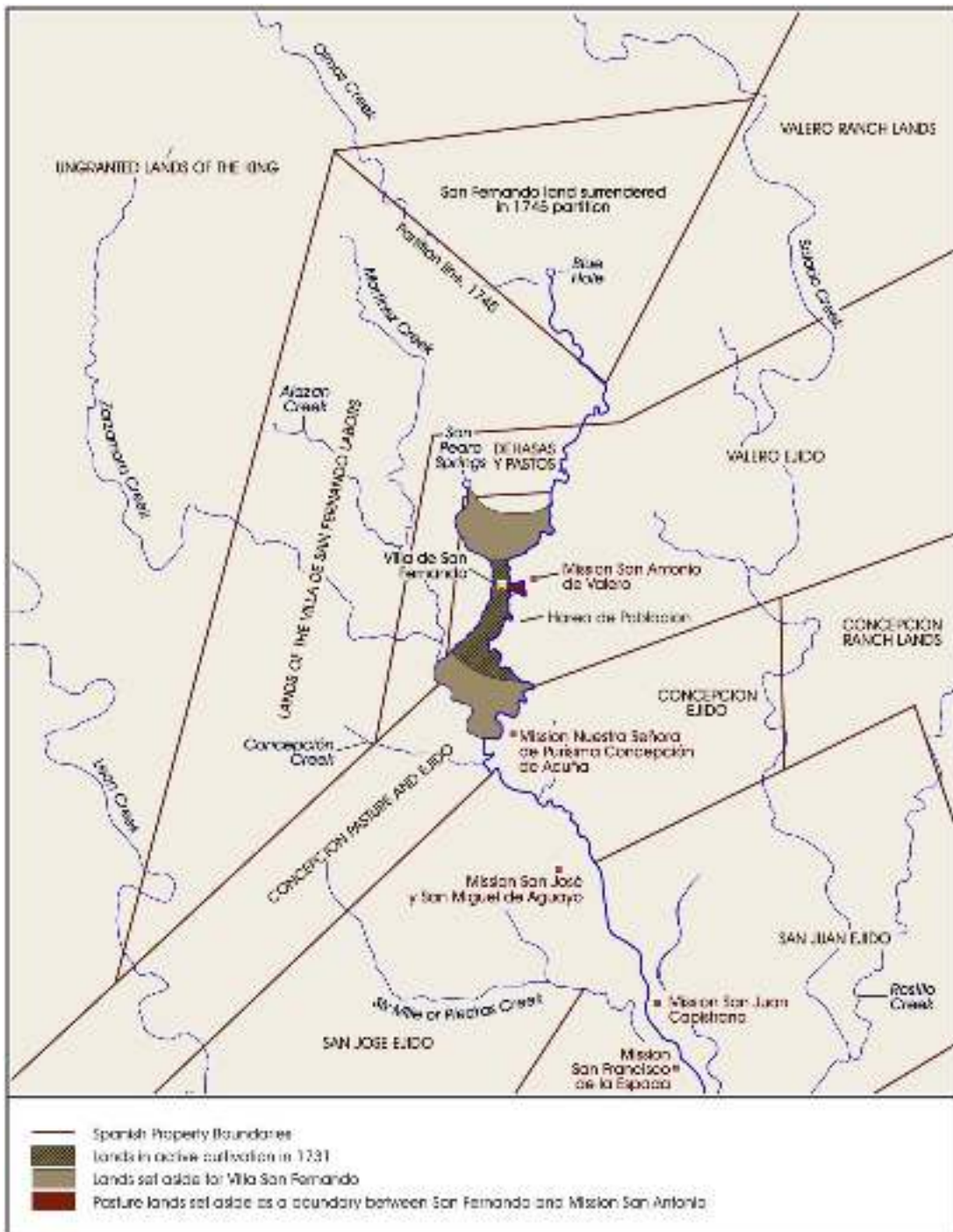


Figure 4-2. *The landscape of the San Antonio area in the early eighteenth century.*

Early on in the history of settlement of the upper San Antonio River drainage, no formal titles were issued for the lands surrounding *Villa de Béxar* (de la Teja 1995). Prior to 1731, soldiers and settlers were issued licenses to build houses on and farm the land surrounding the garrison. The area was considered the royal property of the presidio.

In 1732, Captain Juan Antonio Pérez de Almazan devised plans for an *acequia*, farm plots, and a settlement for the Canary Islanders (Cox 2005:34-35). Farm plots were to be established south of the settlement between the San Antonio River and San Pedro Creek. The high banks of the creek and river did not allow for the efficient building of an *acequia* in this stretch of the streams. Instead, the *acequia* was begun near San Pedro Springs and ran southward to the San Antonio River. In 1734, this area was granted to the Islanders, and the *acequia* was in operation by this time (Cox 2005:34-35). The new *acequia* allowed the colonists the opportunity to greatly increase the amount of land they could bring under cultivation between San Pedro Creek and the San Antonio River.

The lands that abutted San Pedro Creek were known as part of the *Ejido*. The term typically referred to a parcel of land that was located outside the center of town and left unprotected from the frequent raids of the Apaches and Comanches. The *Ejido* was communal land used by the residents of the *Villa de Béxar* for farming and grazing; therefore, it was not deeded to one particular person or family (Cox 1997:11).

The documents dating between 1733 and 1842 indicate that the western portion of town that bordered San Pedro Creek was unpopulated throughout much of this period (Labadie 1987:5-6). Unfortunately, only two maps are available that document the changes in land use along San Pedro Creek during the remainder of the eighteenth century. The first of these shows the project area in March 1764 and was drawn by Julian C. Munguia. It is entitled “*Mapa del Presidio de San Antonio de Bejar*” and depicts the stretch of the San Antonio River from north of the big bend of the river to Calaveras Creek. The northern end of the map shows San Pedro Creek. At the beginning of the creek, a clump of trees is shown that might indicate either the cluster of pecan, cypress, and oak trees at San Pedro Creek or the clump of trees near the first location of Mission de Bexar, which was approximately 1.0-1.5 miles south of the spring (Figure 4-3).

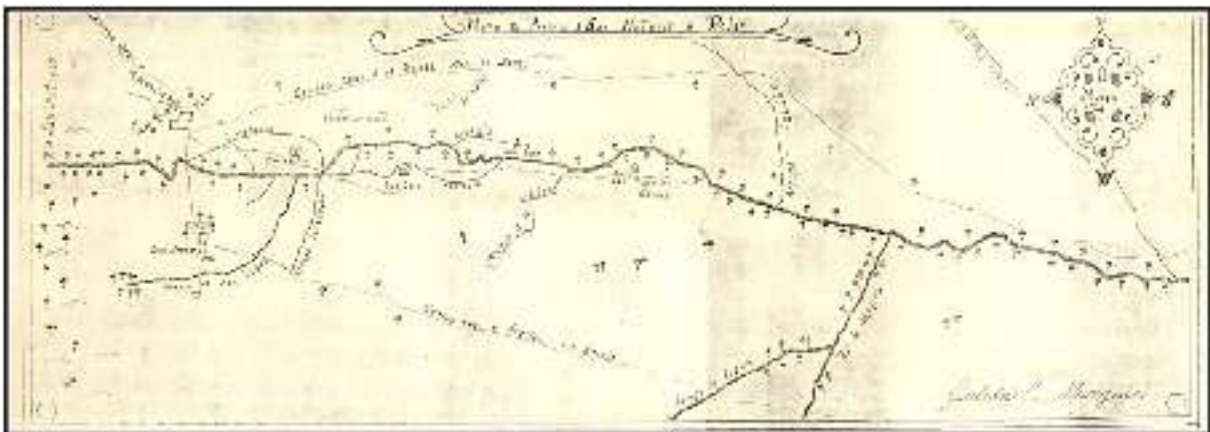


Figure 4-3. Map of the San Antonio River valley drawn by Julian C. Munguia dating to March 1764.

The route of the creek is clearly idealized, and it shows only minor bends. West of the creek across from San Fernando Cathedral is the the Campo Santo, a cemetery, and a road connects the cemetery to *Plaza de Armas* and *Mission San Antonio de Valero* to the east. A second road is depicted that begins at the *Plaza* and heads south-southwest crossing San Pedro Creek nearly in line with the spring of *Arroyo Concepción*. This road is the segment of the Camino Real that leads to *Presidio del Rio Grande*. The area east and in the vicinity of the portion of the Camino Real that leads south to La Bahia is annotated as being inhabited by Indian tribes.

Luis Antonio Menchaca, Captain of the Presidio in San Antonio, drew the second map (Figure 4-4) in 1764. Not surprisingly, it is similar to the Munguia map. The Menchaca map depicts a broader area outside of the San Antonio River valley showing both the Medina River as well as Leon Creek to the southwest of San Antonio. The roads leading to town as well as to the mission along the river are also depicted. The cluster of trees near the San Pedro Springs is present, and no habitation is shown west of San Pedro Creek. The notation next to the cluster identifies the *ojo*, or spring, of San Pedro Creek.

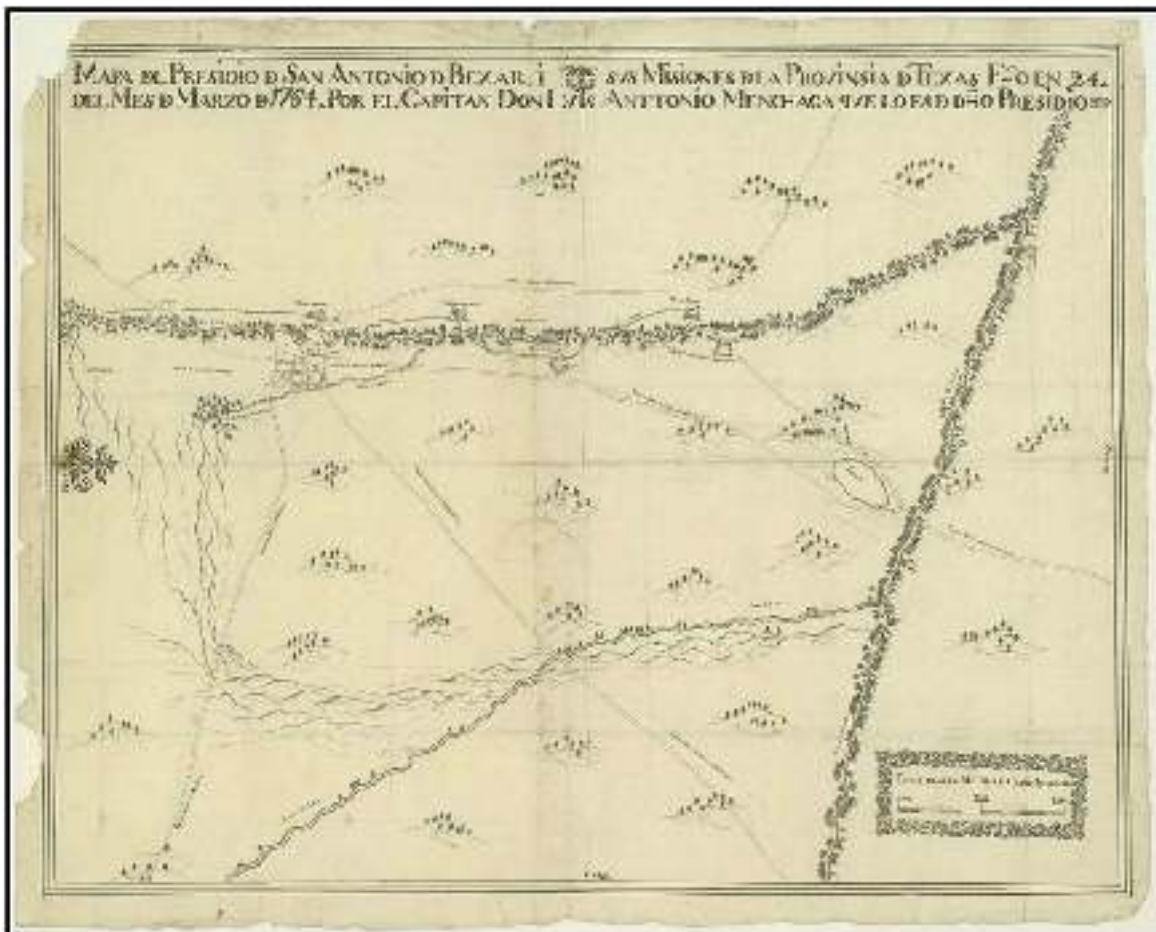


Figure 4-4. Map of the San Antonio River valley drawn by Luis Antonio Menchaca dating to March 1764.



Figure 4-6. The San Antonio Town Tract depicted in 1845.



Figure 4-7. Map depicting big bend in San Antonio River and its vicinity, drawn by Frieslaben in 1845.

A plat map of city tracts drawn only seven years later in 1852 shows the upper portion of the project area from roughly Kingsbury Street to Arsenal Street although the latter is not depicted on the map (Figure 4-8). Development appears to have reached to Frio Street west of San Pedro Creek, but parcels further west appear not to have been sold at this time. Eight roadways appear to cross the San Pedro Arroyo as it is identified on the map.



Figure 4-8. Central portion of San Pedro Creek drainage shown on 1852 map.

The Bird's Eye View map of 1873 drawn by Augustus Koch depicts the City of San Antonio in detail and includes the San Pedro Creek vicinity beginning just north of Kingsbury Street and ending just south of Arsenal Street (Figure 4-9). By this time, the portion of town west of San Pedro Creek is heavily developed with large numbers of residential structures on Laredo, Cast, and Center Streets. Some businesses line both banks of the creek. The area west of W. First Street is less developed. A footbridge appears to be found immediately south of Kingsbury Street, and bridges depicted with railings are present at Salinas, Obraje, Rivas, Presidio, Dolorosa, and Nueva Streets as well as at Arsenal. Fruit orchards are present along the creek between Nueva and Arsenal Streets. Vegetation north of Arsenal Street and continuing past Kingsbury Street appears to be low bushes with scattered trees.

The Sanborn Fire Insurance Maps help depict the settlement history of the project area. The earliest map showing the project area dates to 1885 (Sheet 8). Figure 4-10 shows San Pedro Creek just north of W. Houston Street and just south of Dolorosa Street. At the corner of W. Houston and Camaron Streets, west of the creek, is the San Antonio Gas Company, while on the east side of the creek is the Alamo Ice Brewing Co. According to the Bexar County Deed Records (BCDR), the land was conveyed to the Alamo Ice Company in 1880 (BCDR 15:456). The area of the Spanish Governor's Palace, on the west side of Military Plaza, has become a cluster of mercantile enterprises. South along San Pedro Creek are several structures identified as groceries or warehouses. Plank bridges are depicted crossing the creek at W. Houston, W. Commerce, and Dolorosa Streets.

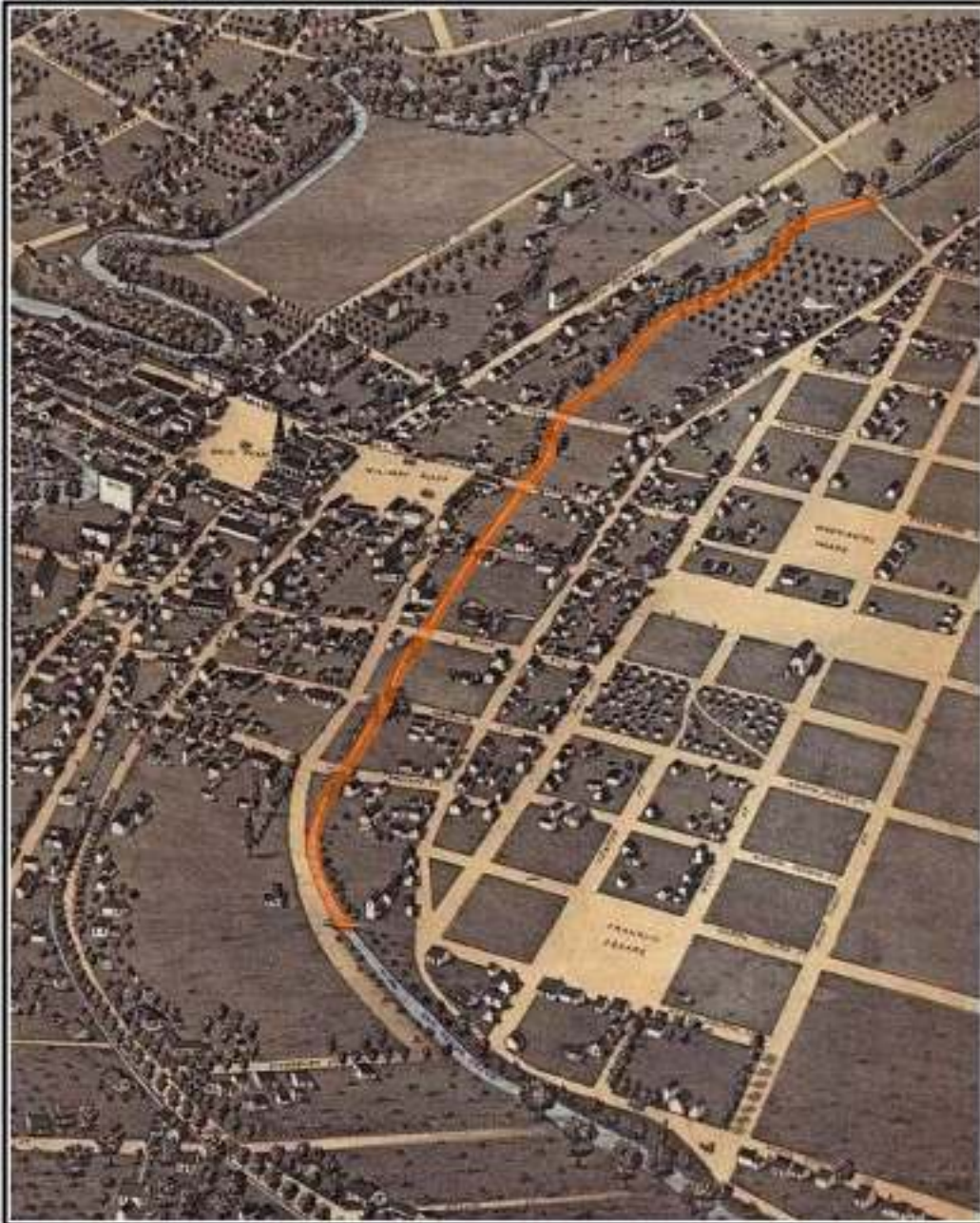


Figure 4-9. *San Pedro Creek and its vicinity on the Koch 1873 Bird's Eye View map. The orange line highlights the San Pedro Creek area beginning just north of Kingsbury Street and ending just south of Arsenal Street. Note that this map is drawn with north oriented to the bottom of the map.*

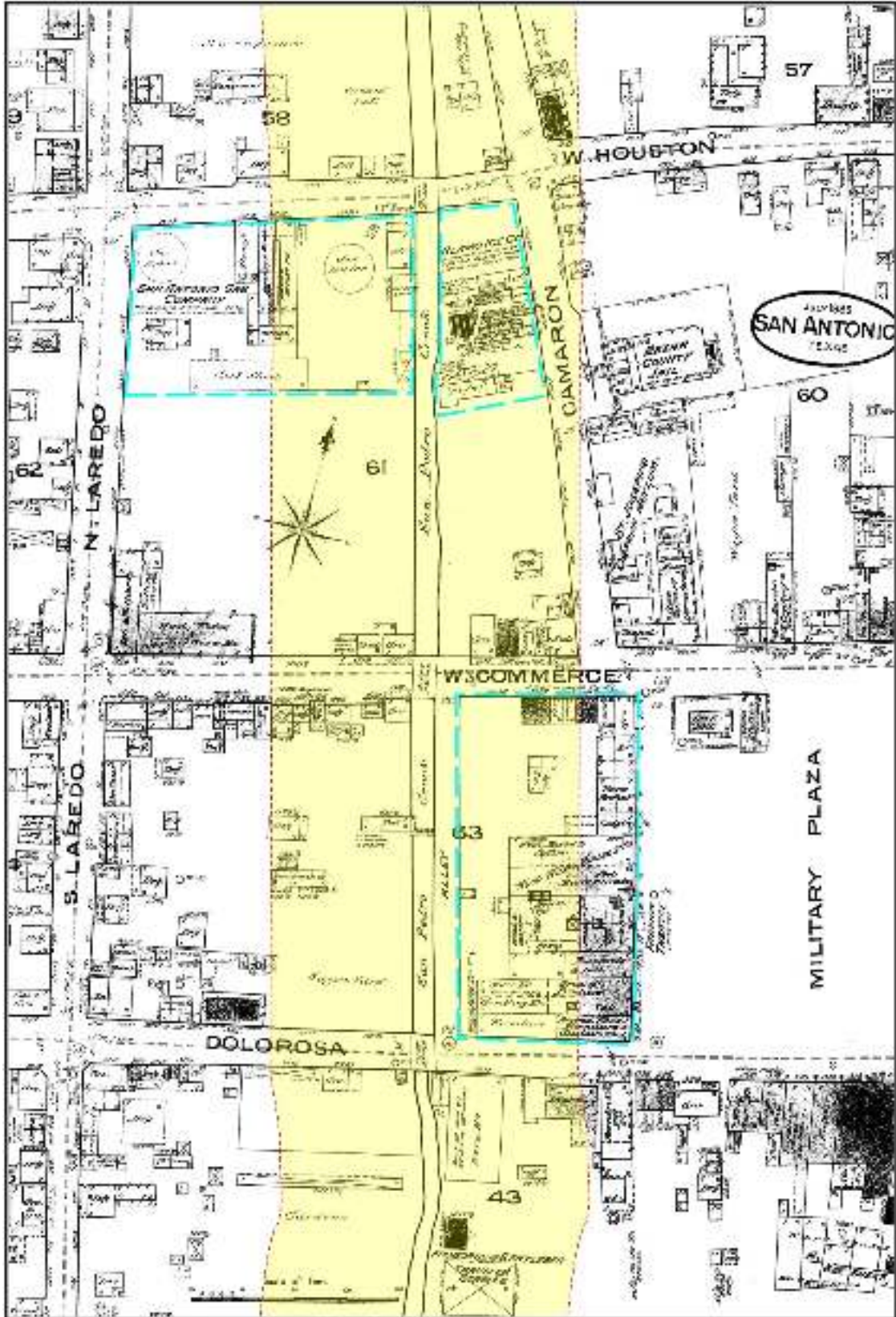


Figure 4-10. *The July 1885 Sanborn Fire Insurance Map (Sheet 8). The San Antonio Gas Company, the Alamo Ice Company, and cluster of warehouses are outlined in blue.*

By 1886, when Koch drew his second Bird's Eye View of the City, San Antonio had grown substantially. In this depiction, the viewer is looking north. In 1877, the railroad had arrived to town and to the project area, and a major railroad hub was flourishing some eight blocks west of Laredo Street on Salado Street (Hemphill 2014). The margins of the hub are just visible at the edge of the image (Figure 4-11).

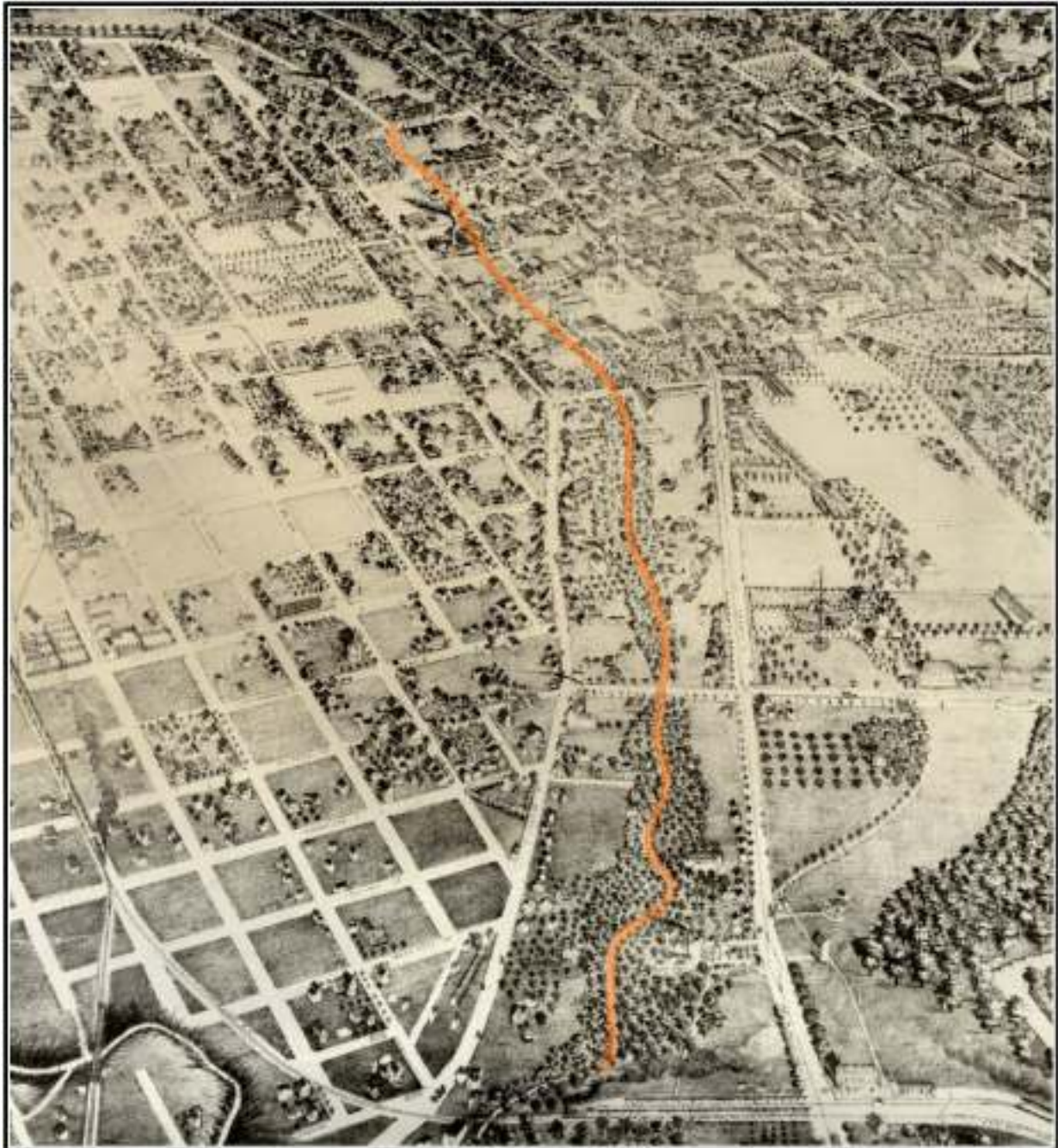


Figure 4-11. Koch's 1886 Bird's Eye View of project area and its vicinity. The orange line highlights the project area.

The 1889 color map of the city published by J.J. Olsen and Son of San Antonio provides additional details regarding the growth of the city during the late nineteenth century (Figure 4-12). The banks of San Pedro Creek are drawn as if they are natural stream banks rather than contained within retaining walls. This would contradict the interpretation of the 1885 Sanborn Map that suggested, at least between W. Houston and Dolorosa Streets, the west bank of San Pedro Creek was formed by a retaining wall. For much of its course, between Kingsbury and Camp Streets, the creek flowed along a relatively broad and undeveloped stretch of floodplain between Laredo Street on the west and Flores Street on the east.



Figure 4-12. A portion of the 1889 J.J. Olsen and Son map of San Antonio showing the project area. The orange line highlights the project area.

The 1892 Sanborn Fire Insurance Map (Sheet 6) depicts a larger segment of the project area stretching from Obraje Street to Dolorosa Street (Sheet 6; Figure 4-13). To the west of the creek at W. Houston Street is the San Antonio Gas Company, and further along the creek and near W. Houston Street is the Alamo Brewing Co. Dwellings. Places of business appear to occupy the remaining portions of the area, while two businesses appear between Military Plaza and the creek.

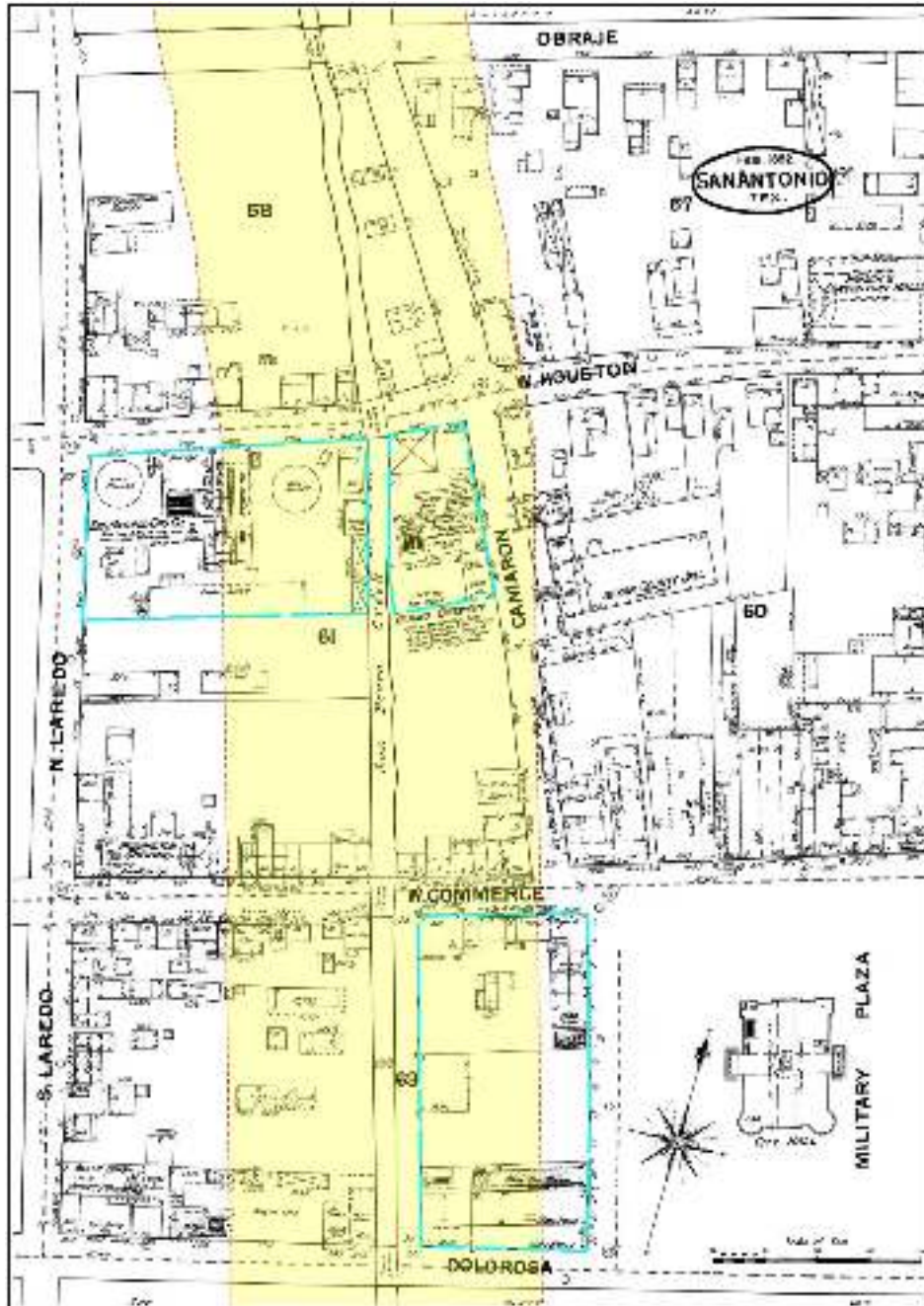


Figure 4-13. *The February 1892 Sanborn Fire Insurance Map (Sheet 6). The San Antonio Gas Company, the Alamo Brewing Company, and the businesses located between Military Plaza and the creek are outlined in blue.*

Sheet 7 (Figure 4-14) of the 1892 Sanborn Map covers the area along the creek from Dolorosa Street to W. Nueva Street. Small structures and gardens are depicted to the west of the creek. Businesses, including the Froborse and Santleber Transfer Stables, appear to line the east bank of the creek. The 1892 map still shows plank bridges on portions of the creek.

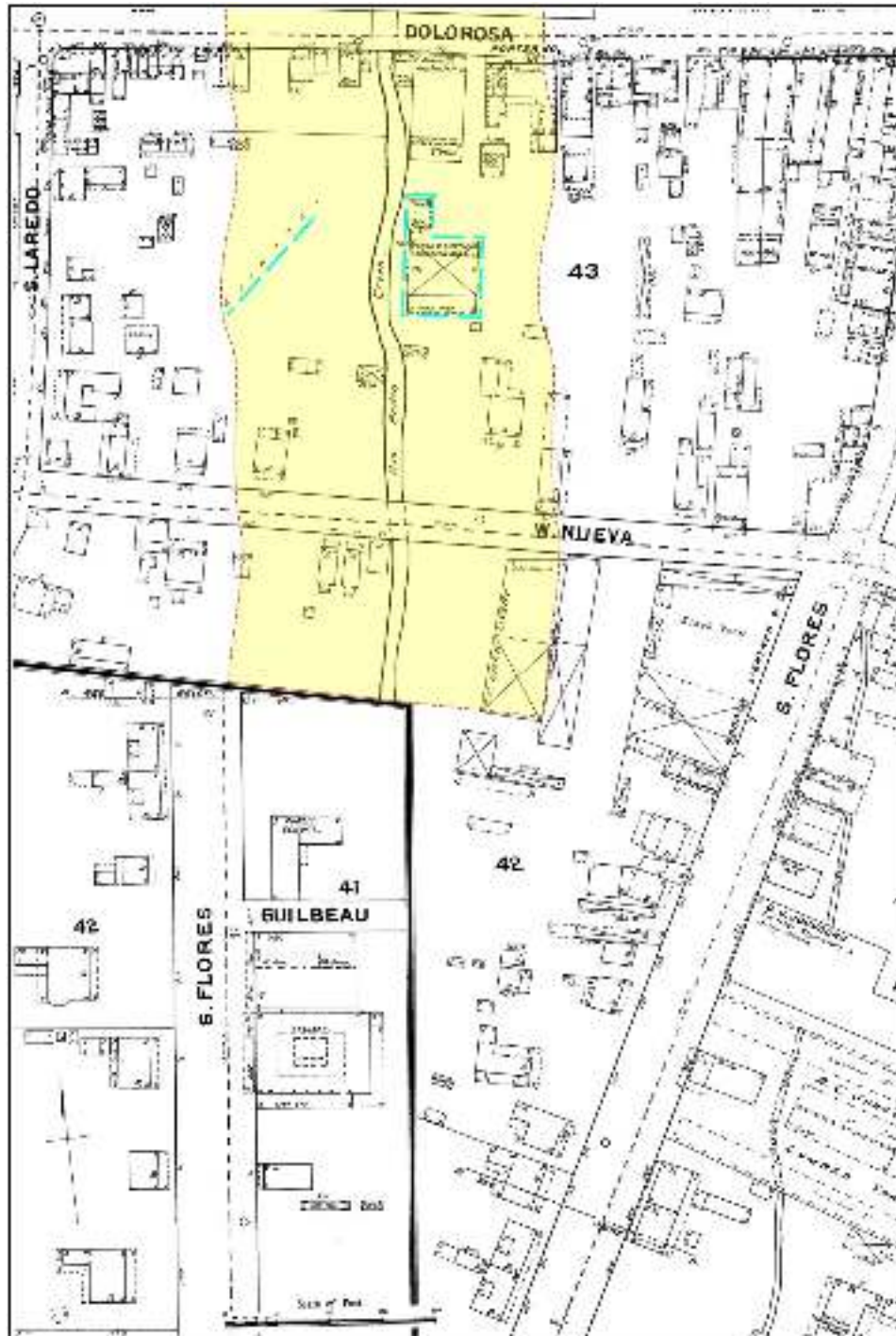


Figure 4-14. *The February 1892 Sanborn Insurance Map (Sheet 7). The gardens and the Froborse and Santleber Transfer Stables are outlined in blue.*

The 1896 Sanborn Fire Insurance Map (Sheet 57; Figure 4-15) shows the San Antonio Soap Works along the west bank of the creek at the intersection of Lake View Avenue and Camaron Street. Other structures depicted along this portion of the project area appear to be dwellings. Sheet 10 (Figure 4-16) of the 1896 maps illustrates the course of the creek from Obraje Street to W. Commerce Street. Several dwellings are depicted along this stretch, and the San Antonio Gas Company is still located west of the creek at W. Houston Street. The Alamo Brewery is shown on the east bank of the creek at W. Houston Street, but according to the map, it is no longer operating and may simply be a storage facility. A variety of businesses and dwellings are depicted between W. Commerce and W. Nueva Streets.

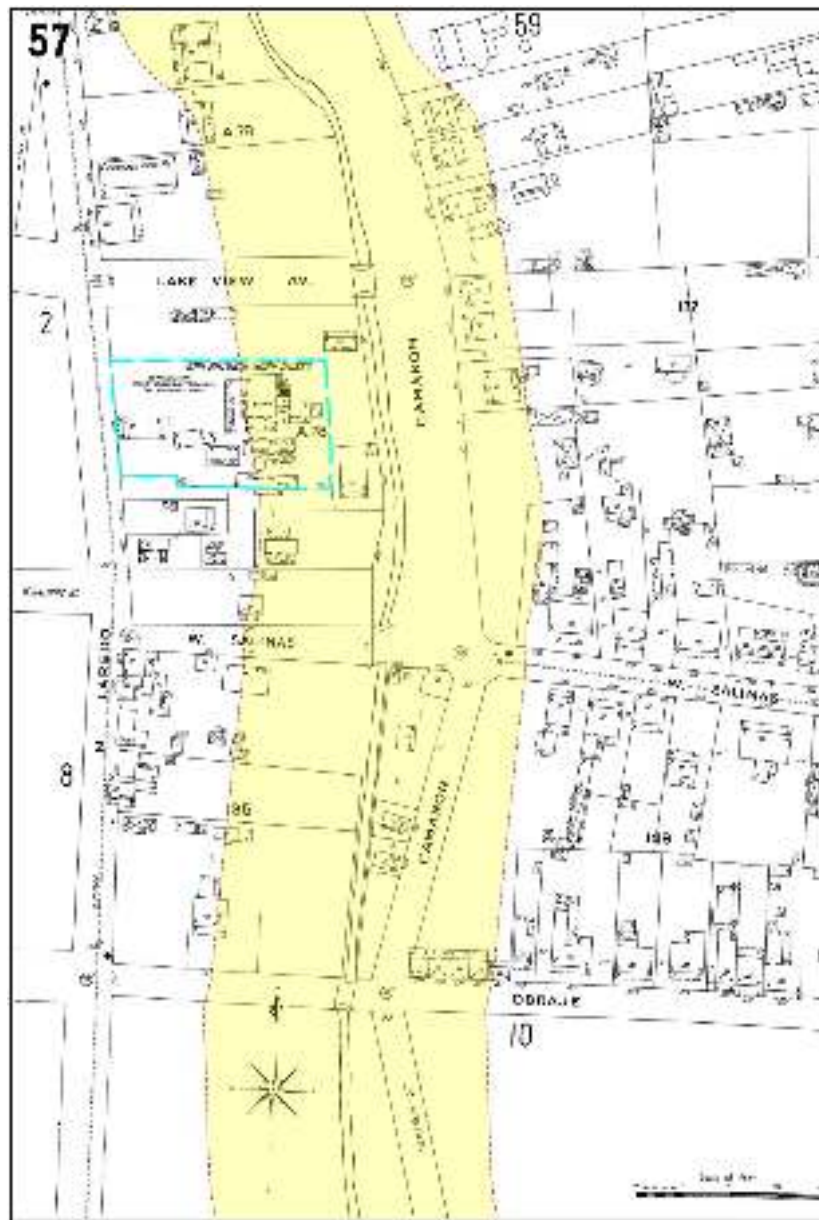


Figure 4-15. *The 1896 Sanborn Fire Insurance Map (Sheet 57). The San Antonio Soap Works is outlined in blue.*

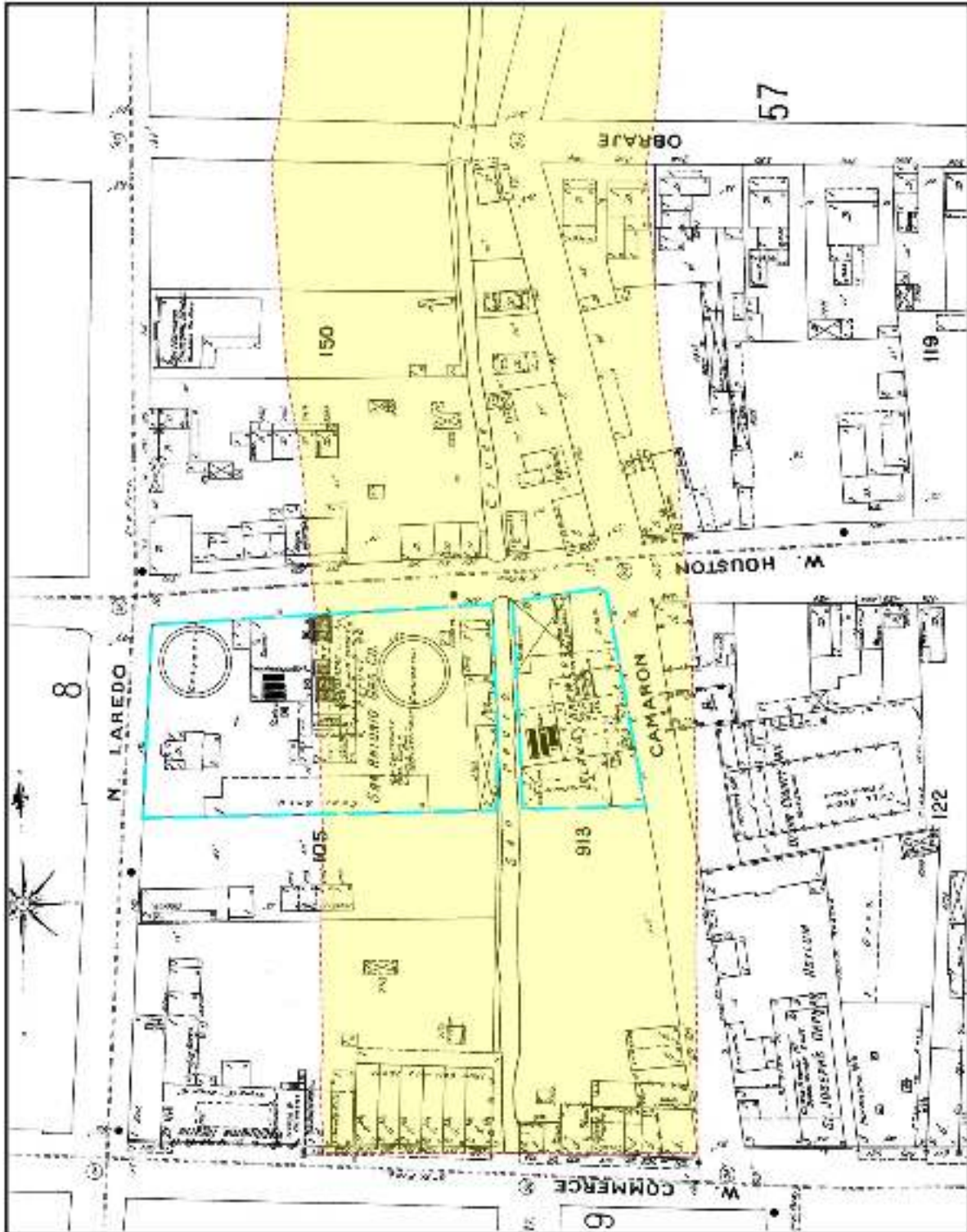


Figure 4-16. *The 1896 Sanborn Fire Insurance Map (Sheet 10). The San Antonio Gas Company and the Alamo Brewery are outlined in blue.*

By 1904, the area west of San Pedro Creek was dominated by the railroad hub along Salado Street, and by 1929, a new railroad hub (Figure 4-17a) had been established just north of the U.S. Arsenal facility that was created in 1859 (Figure 4-17b). Its depot was located just south of Durango (Cesar E. Chavez) Boulevard, and the line ran southward connecting to the Missouri Pacific Line with its depot just west of N. Medina Street, between Travis and Commerce Streets.

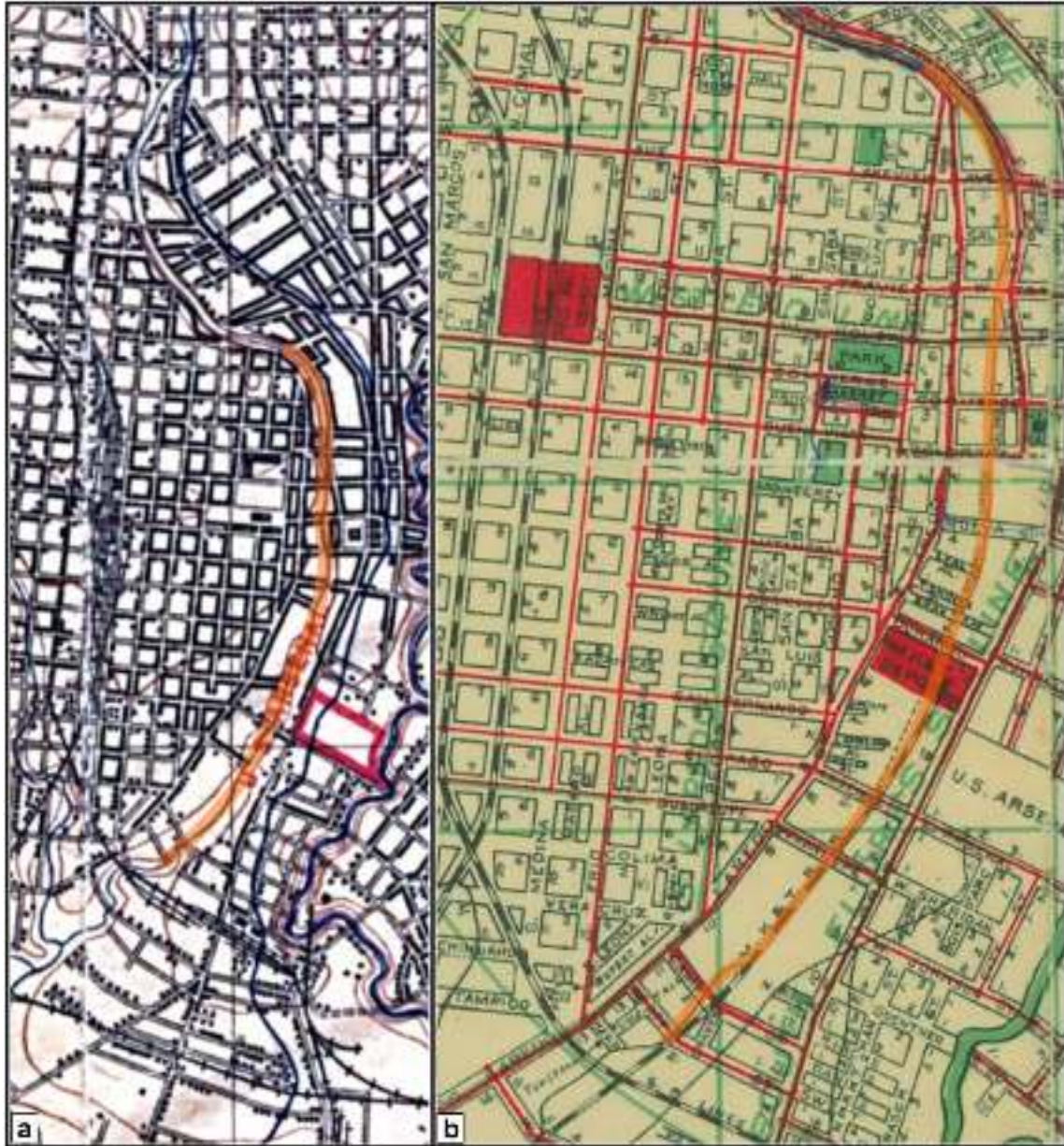


Figure 4-17. *City of San Antonio maps showing the project area (highlighted in orange) in 1904 (a) and 1929 (b).*

The 1904 Sanborn Fire Insurance Map, Sheet 2, depicts (Figure 4-18) the San Antonio Soap Works on the west side of the creek on Lakeview Avenue and Camaron Street. Sheet 3 of the 1904 Sanborn Map depicts the San Antonio Gas and Electric Company still on the west banks of the creek at W. Houston Street (Figure 4-19). The Lone Star Brewery Depot is where the Alamo Brewery once stood, and a small cluster of buildings occupies this location on the Sanborn Map. Dwellings, offices, and empty lots are illustrated on the remainder of the map.

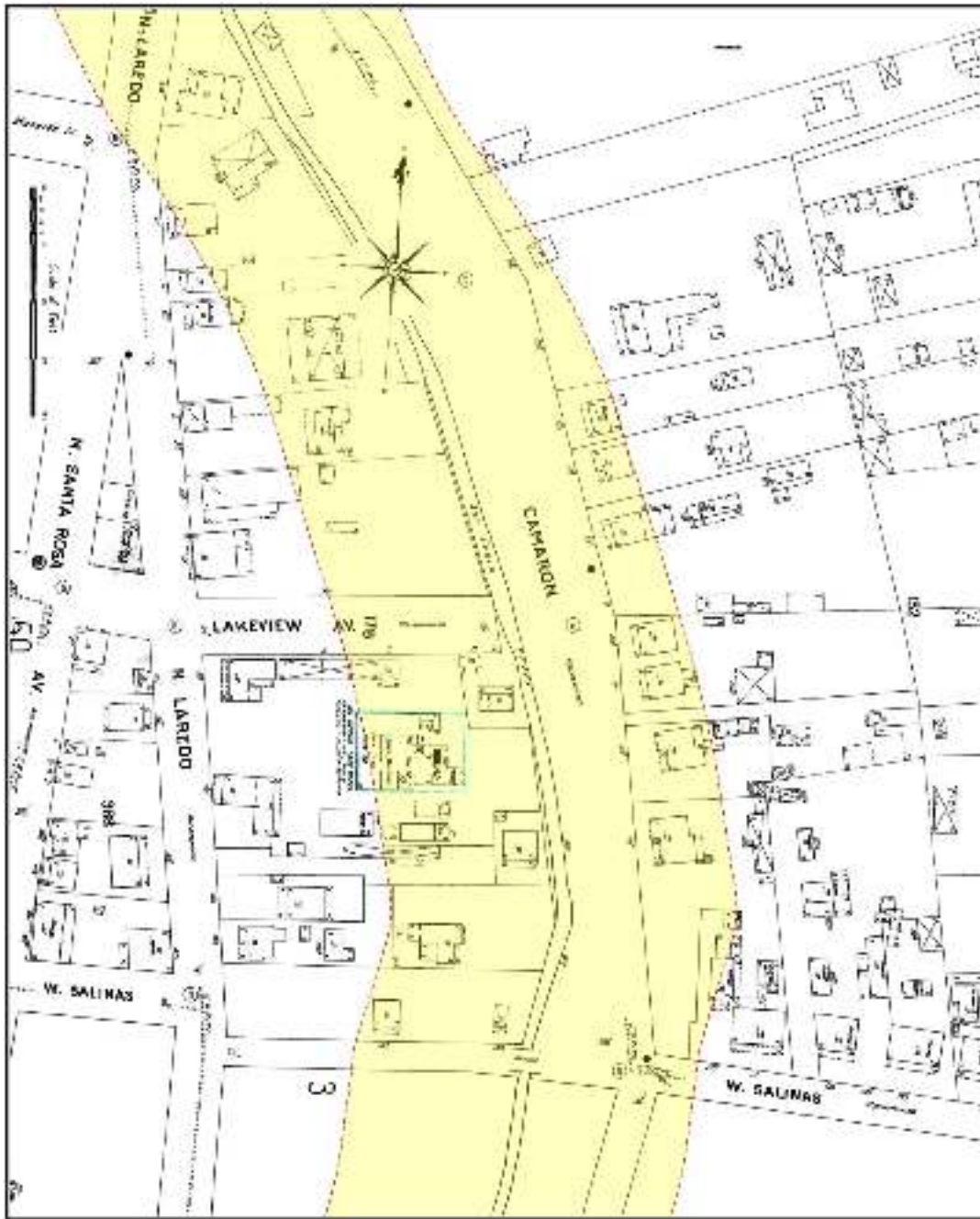


Figure 4-18. *The 1904 Sanborn Fire Insurance Map (Sheet 2). The San Antonio Soap Works is outlined in blue.*

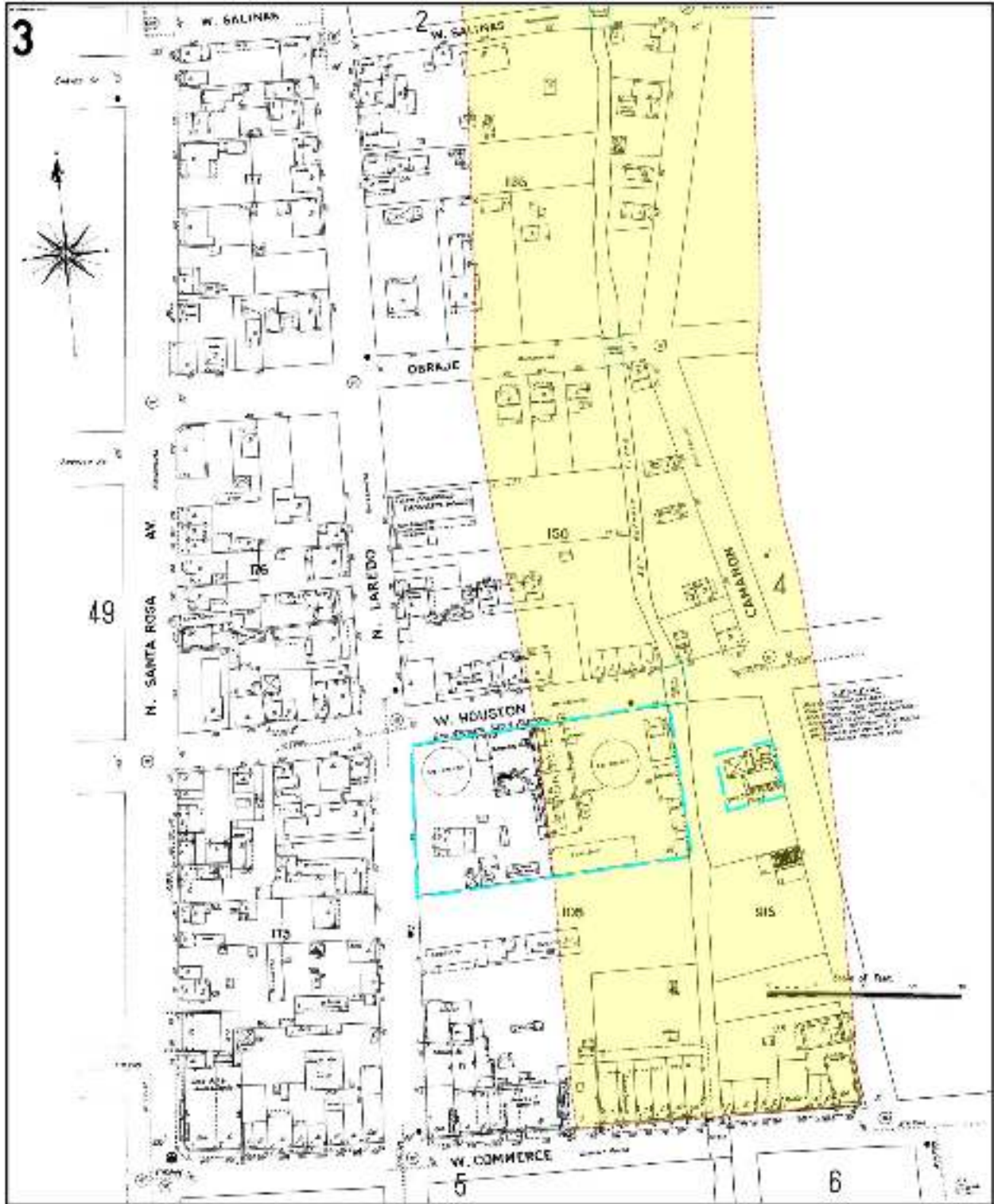


Figure 4-19. The 1904 Sanborn Insurance Map (Sheet 3). The San Antonio Gas and Electric Company, the Lone Star Brewery Depot, and wooden bridges are outlined in blue.

By 1911, the San Antonio Soap Works no longer appears on the Sanborn Map (Sheet 2; Figure 4-20), rather Peter Hoebel's Print Shop is on the west side of the creek just south of Lakeview Avenue. On a 1911 Sanborn Map (Sheet 3; Figure 4-21), the San Antonio Gas and Electric Company is no longer on the west bank of the creek south of W. Houston Street, and the area is depicted as an empty lot. On both the 1904 and 1911 maps, wooden bridges are depicted crossing San Pedro Creek.

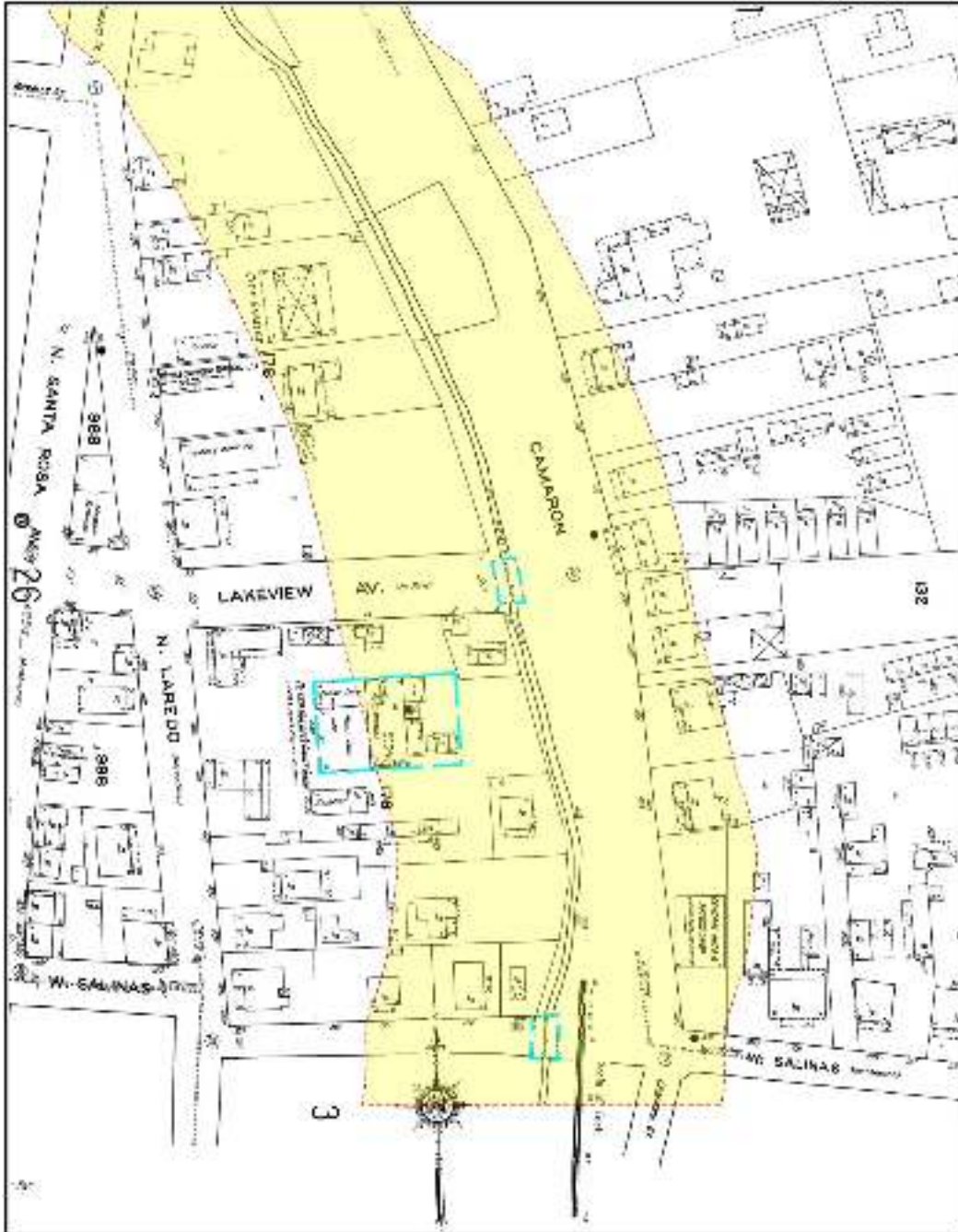


Figure 4-20. *The 1911 to 1924 Sanborn Fire Insurance Map (Sheet 2). Peter Hoebel's Print Shop, additional businesses, and wooden bridges are outlined in blue.*



Figure 4-21. The 1911 to 1924 Sanborn Fire Insurance Map (Sheet 3). Wooden bridges are outlined in blue.

In the 1922 Sanborn Fire Insurance Map (Sheet 2; Figure 4-22), the portion of the creek that runs from just north of W. Martin Street to W. Salinas Street shows several residences and an auto shop. More importantly, the bridge crossing the creek at W. Martin and Camaron Streets is depicted as being made of concrete. On Sheet 3 of the same year, the portion of the creek from W. Salinas to W. Commerce Streets is shown (Figure 4-23). The San Fernando Cathedral School is on the west bank of the creek just south of W. Salinas Street. The area occupied by the San Antonio Gas Company now depicts the location of the Casa de Mexico Building, and the location of the Lonestar Brewery Depot is now an empty lot.

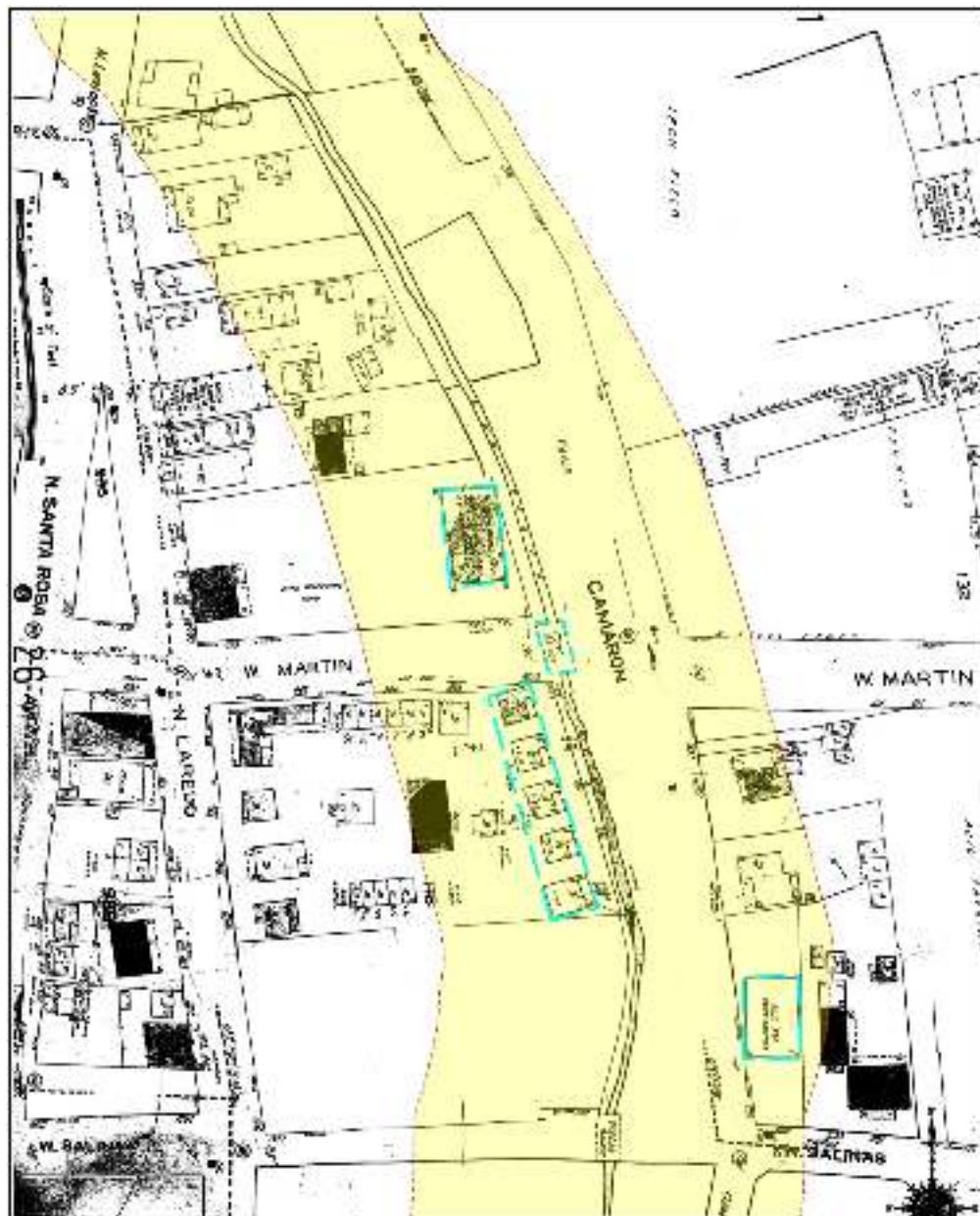


Figure 4-22. The August 1922 Sanborn Fire Insurance Map (Sheet 2). The Auto Wheel Repair shop, the Auto Repair and Paint Spraying shop, multiple residences, and the concrete bridge are outlined in blue.



Figure 4-23. The December 1922 Sanborn Fire Insurance Map (Sheet 2). The San Fernando Cathedral School and the Casa de Mexico Building are outlined in blue.

Chapter 5: Bridges and Retaining Walls

This chapter looks at the history of the creek from the perspectives of the traffic that crossed the creek and the management of the flow of the water. This latter perspective will look only at channelization of the creek rather than its use as a source of irrigation water. The discussion begins with the consideration of the bridges that spanned and continue to span the course of the creek.

Bridges

It is likely that some of the earliest access to the west bank of the creek was through low water crossings rather than formal bridges. This is suggested by the 1764 Munguia map (Figure 5-1¹) that shows two crossings of the creek, one immediately west and the other south-southwest of the San Fernando Cathedral. The first one may have been in the eventual location of the Commerce Street crossing. The other crossing would have been upstream from the confluence of the creek and the river. An example of what these crossings may have looked like is shown in Figure 5-2, a photograph of a low water crossing at Dolorosa Street (Figure 5-2).

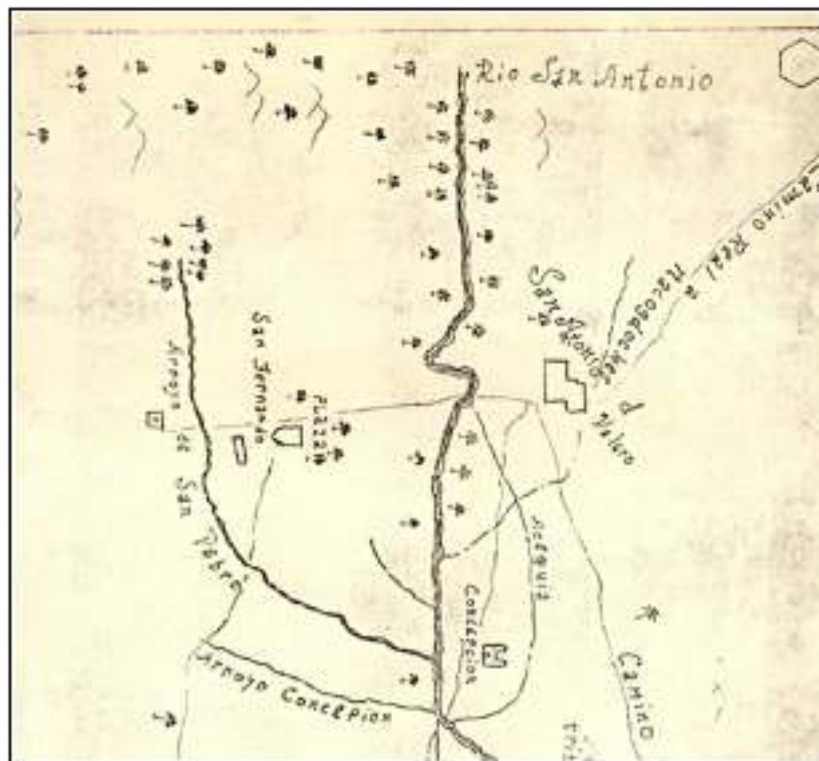


Figure 5-1. Detail of 1764 Munguia map showing two crossings of San Pedro Creek.

¹ Several of the maps, in whole or part, from Chapter 4 are repeated to illustrate key points made in Chapter 5.



Figure 5-2. *An example of a low water crossing at Dolorosa Street (1870s, UTSA digital photo collection).*

The earliest indications of regular, more formalized traffic across San Pedro Creek come from the 1845 Frieslaben map that shows street crossings at Salinas, Obraje, Rivas, Presidio, Dolorosa, and Nueva Streets. While we lack construction details, we assume that bridges were present at these street crossings. By 1867, some of these crossings were made of stone, as a City ordinance from that year mentions that the Mayor's Office will be receiving bids for "The Repairing of the Stone Bridge over the San Pedro creek at Salinas street" (City Council Meeting Minutes [CCMM] Miscellaneous Ordinances 1864-1867:119).

The 1873 Bird's Eye View drawn by Koch provides more detail on the connections between the creek's east and west banks (Figure 5-3). That map shows multiple crossings of the creek, including at Salinas, Obraje, Rivas, Presidio, Dolorosa, Nueva, and Arsenal Streets. The map shows what may be a footbridge spanning the creek north of Salinas Street, halfway to Kingsbury Street. Koch's 1886 map (Figure 5-4) shows two new crossings at Kingsbury Street to the north and at Herff Street to the south.

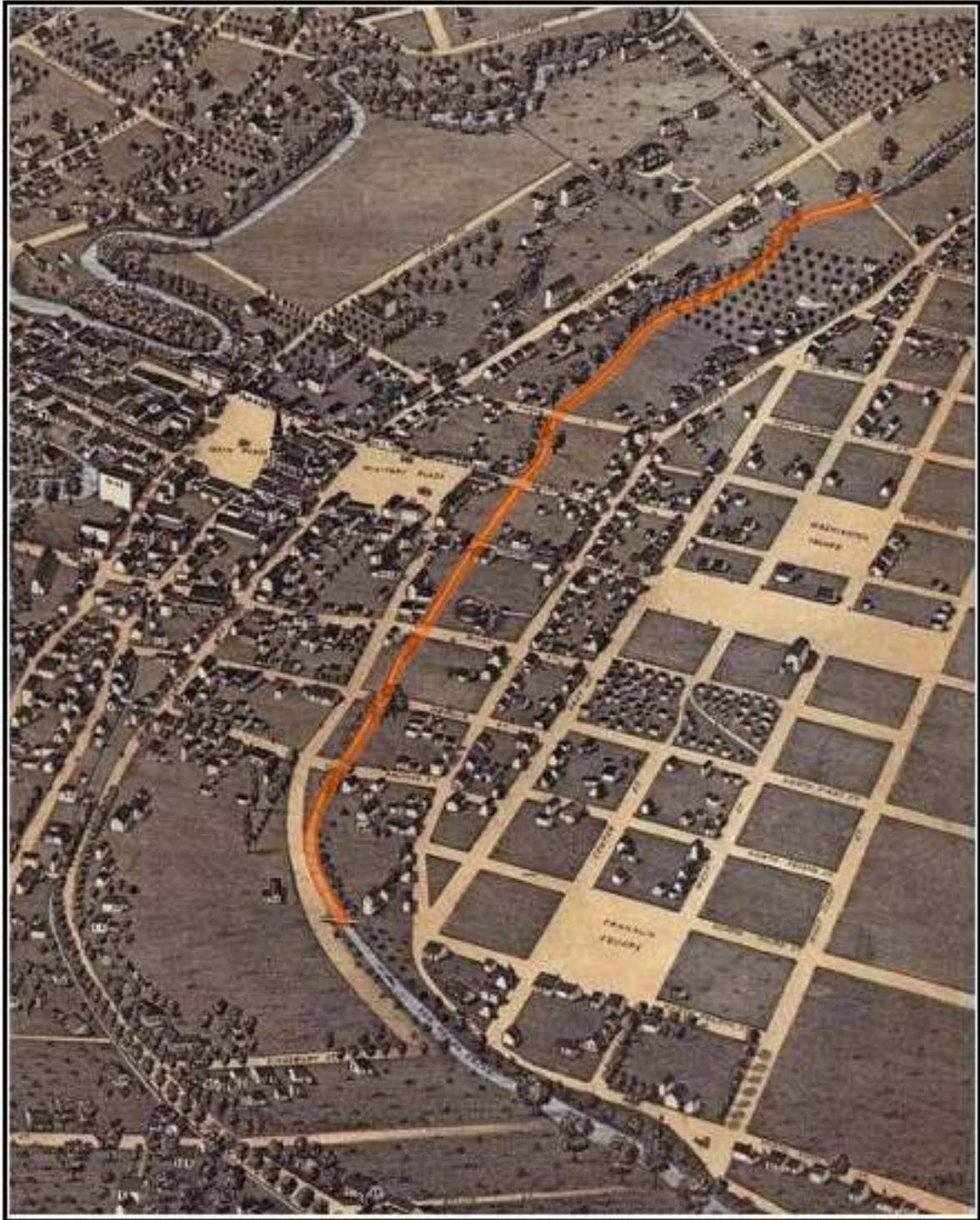


Figure 5-3. The 1873 Bird's Eye View drawn by Koch showing the connections between the creek's east and west banks. Project area is highlighted in orange. (Note that this map is oriented with north to the bottom of the map).

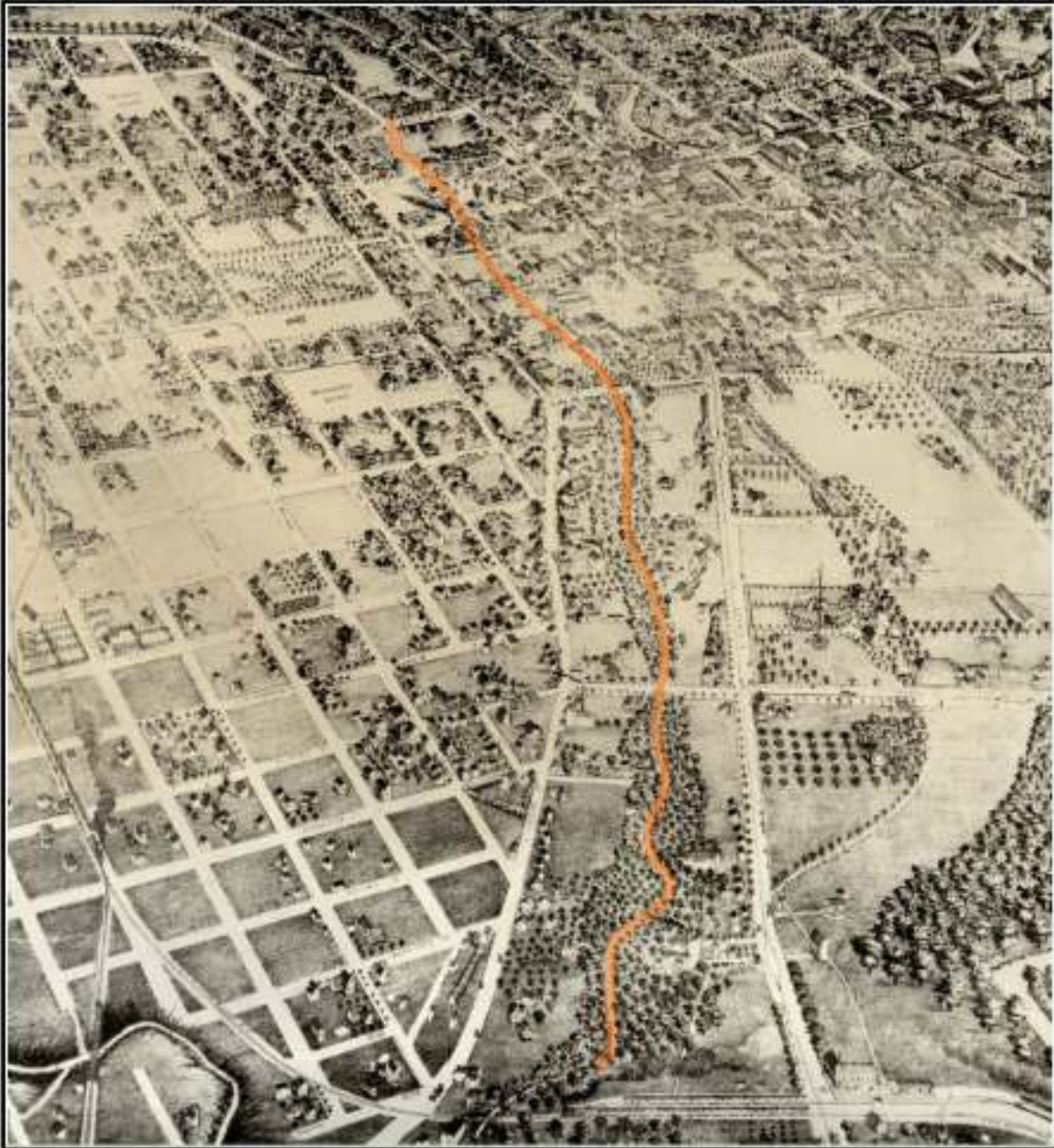


Figure 5-4. Koch's 1886 Bird's Eye View depicting bridges at Kingsbury Street and Herff Street at the northern and southern ends of the project area. Project area is highlighted in orange.

Examination of Figure 5-4 clearly shows that in 1886, the area south of Nueva Street is undivided, with orchards dominating the land on both sides of the creek. Appler's 1909 map (Figure 5-5) shows that this same area was not subdivided by this date, though a number of new streets are present, several of which dead-end into San Pedro Creek. The area to the north above Nueva Street has an increased density of lots, with crossings depicted at Lakeview Avenue, Salinas, Obraje, W. Houston, W. Commerce, Dolorosa, W. Nueva, W. Arsenal, Camp, and Herff Streets.



Figure 5-5. Jules Appler's 1909 map of San Antonio. Project area is highlighted in orange.

Based on notations present on Sanborn Fire Insurance Maps, many of these late nineteenth-century bridges were wooden plank construction. Some of these plank bridges were used until into the twentieth century. For example, Figure 5-6 shows a late 1920s photograph of the wooden bridge at Camaron Street.



Figure 5-6. *San Pedro Creek channel and wooden bridge at N. Laredo and Camaron Streets, ca. 1927-1931 (UTSA - digital photo collection).*

A review of the City Council Meeting Minutes shows that a great deal of attention was paid to bridge maintenance and repair along San Pedro Creek. During the May 24, 1917, meeting, City Council passed an ordinance for the construction of sidewalks connecting to the bridge over San Pedro Creek at W. Commerce Street (CCMM 1917:441). Bridge repairs were ongoing throughout the early 1900s, as indicated by numerous ordinances approving funds to pay for such actions. At the City Council Meeting on May 5, 1921, the appropriation of funds was authorized to repair and pave the bridge at W. Travis Street (CCMM 1921:483). Ordinance No. 586 appropriated funds for among other things, the cost of paving at San Pedro Creek bridges (CCMM 1921:483). At the meeting on March 2, 1925, the Council members authorized the purchase of steel for the repair of bridges over San Pedro Creek located at Dolorosa and Nueva Streets (CCMM 1925:457). During the same meeting, the members authorized the appropriation of funds to pay for cement for repairs to be completed on the Houston Street Bridge (CCMM 1925:460-461) and for underpinning and repairs at the Commerce Street and Dolorosa Street bridges over San Pedro Creek (CCMM 1925:460). At the June 11, 1928, meeting, funds were appropriated for the reconstruction of the Dolorosa Street bridge over San Pedro Creek due to the widening of the street (CCMM 1928:510). On July 3, 1935, the members directed the City Engineer to proceed with plans to make improvements to “7 small bridges over San Pedro Creek” (CCMM 1935:566).

The City also built several smaller footbridges over the creek. For example, Figure 5-7 shows five footbridges between Dolorosa and Commerce Streets on Sheet 9 of the 1896 Sanborn Fire Insurance Map. It is likely that these connections served nearby commercial enterprises.

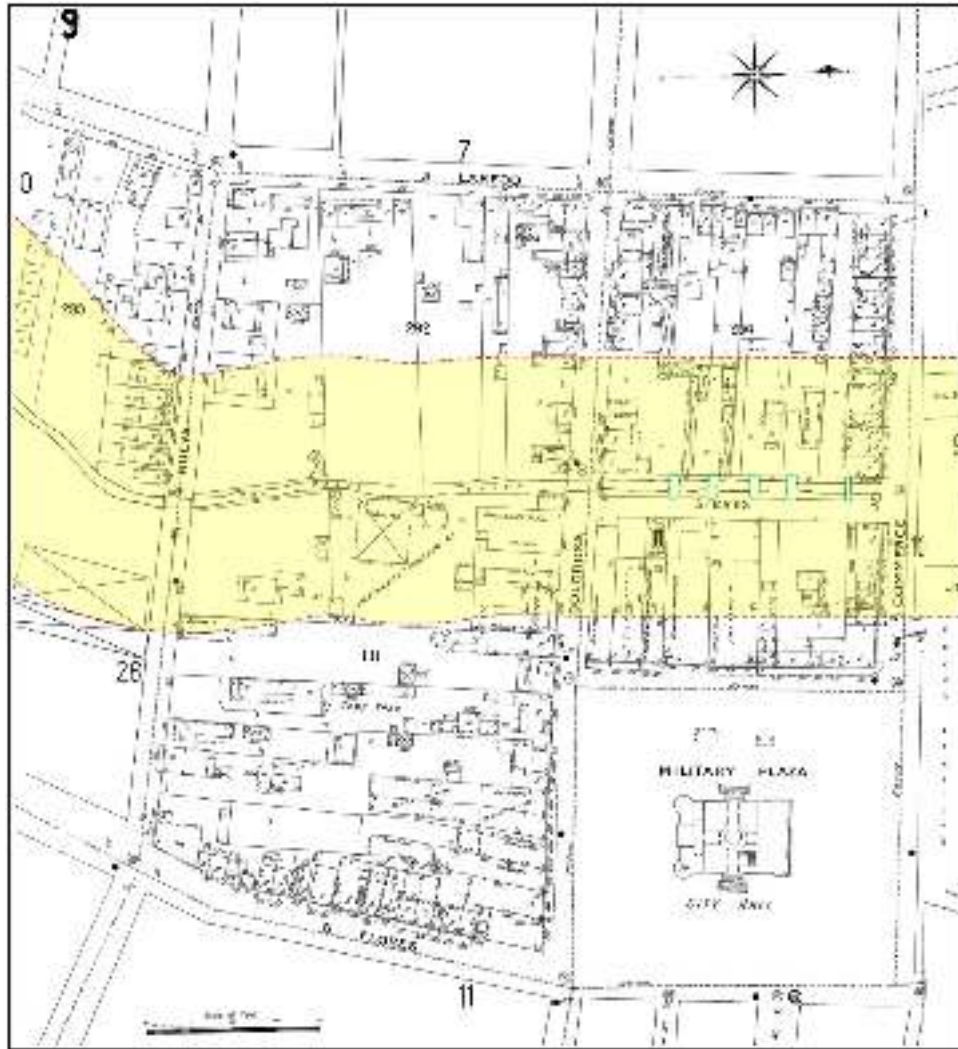


Figure 5-7. Sheet 9 of the 1896 Sanborn Fire Insurance Map showing five footbridges, outlined in blue, between Dolorosa and Commerce Streets.

Concrete bridges spanned the channel of San Pedro Creek and were typically installed on top of the retaining walls of the creek. Steel I-beams supported the heavy concrete and asphalt road surface, and concrete sidewalks provided pedestrian access across the bridge (Figure 5-8). Railings were typically made of fitted steel pipes anchored to the sidewalk with bolts (Figure 5-9). If the railings suffered damage or deteriorated, they were replaced with welded steel pipes. Bridges constructed during the 1950s and later had welded, steel pipe railings, and the more recent bridges had decorative steel and wrought iron railings.



Figure 5-8. Construction detail of one of the bridges over San Pedro Creek, ca. 1968 (UTSA – digital photo collection).



Figure 5-9. Detail of railing assembly of a footbridge over San Pedro Creek (UTSA – digital photo collection).

Our review of the City Council Meeting Minutes, Sanborn Fire Insurance Maps, and other historic maps suggest that bridges were present over San Pedro Creek as early as 1845. Table 5-1 presents a chronology for bridges documented on the Sanborn Fire Insurance Maps in the project area dating back to 1885. While, as noted above, there are earlier examples of bridges, the Sanborn Maps provide a relatively consistent description, sometimes including construction details. Wood planks and occasionally stone were the primary construction materials into the late 1800s (Table 5-1). Reinforced concrete bridges replaced many of the original plank bridges between 1924 and 1956 (Table 5-1). The structural elements of specific bridges are likely to remain intact, while railings were replaced or updated, sidewalks added or repaired, and traffic lanes resurfaced. In spite of these changes, we suggest that several bridges are potentially eligible for listing on the NRHP based on their age and integrity. The specific bridge structures and their eligibility recommendations are listed in Appendix 1.

Table 5-1. Chronology and Construction Details for Bridges Shown on the Sanborn Fire Insurance Maps of the Project Area

| Location | 1885 | 1888 | 1892 | 1896 | 1904 | 1911-1924 | 1911-51 | 1911-1952 | 1956 Amend. |
|---|---------------------|--------------------|----------------------------|----------------------------|----------------|----------------|---------------------------------|---------------------------------|---------------------------------|
| Kingsbury Street | - | - | - | - | - | Wood | Wood | - | |
| N. Laredo Street | - | - | - | - | - | - | Concrete | Concrete | Concrete |
| Lakeview (Martin) Street | - | - | - | Bridge Present | - | Wood | Concrete | Concrete | Concrete |
| Salinas Street | Bridge Present | Bridge Present | Bridge Present | Bridge Present | Wood | Wood | Wood | Bridge Present | Concrete |
| Obraje (Travis) Street | Bridge Present | Bridge Present | Wood | Bridge Present | Wood | Wood | Concrete | Concrete | Concrete |
| Rivas (Houston) Street | Plank | Plank | Plank | Bridge Present | Wood | Concrete | Asphalt | Asphalt | Bridge Present |
| Between Commerce/Rivas (Houston) Streets | - | - | 20' brick wall along creek | 25' brick wall along creek | - | - | Concrete bridge outside Alameda | Concrete bridge outside Alameda | Concrete bridge outside Alameda |
| Commerce Street | Plank | Plank | Plank | Bridge | Asphalt | Asphalt | Asphalt | Asphalt | Asphalt |
| Between Commerce/Dolorosa a block, to Steves Street | 1 bridge-crossover* | 1 bridge-crossover | 1 bridge-crossover | 5 crossovers | 4 crossovers | 2 crossovers | 2 wood bridges | 2 wooden bridges | 2 wood bridges |
| Dolorosa Street | Plank | Plank | Plank | Bridge | Asphalt | Asphalt | Concrete | Concrete | Bridge Present |
| Nueva Street | Bridge Present | Bridge Present | Bridge Present | Bridge Present | Bridge Present | Bridge Present | Bridge Present | Bridge Present | Bridge Present |
| Graham Street | - | - | - | - | - | - | Wood | Wood | Wood |
| Durango (Cesar E. Chavez) Boulevard | - | - | - | - | - | Wooden | Concrete | Concrete | Concrete |
| Arsenal/El Paso Streets | Bridge Present | Bridge Present | Bridge Present | Bridge Present | Wood | Wood | Subterranean channel | Subterranean channel | Subterranean channel |
| Guadalupe Street | - | - | - | - | - | Bridge Present | Bridge Present | Bridge Present | Bridge Present |
| South of Guadalupe/Camp Streets | - | - | - | - | - | 2 crossovers | - | - | - |
| Camp Street | - | - | - | - | - | Wooden | Wooden | Wooden | Wooden |
| Herff Street at S. Alamo | - | - | - | - | - | Wood | Concrete | Concrete | Concrete |

*connected to dwelling, clothes cleaning, and dyeing from the Vogel Belt complex.

Channel Alignments

In addition to the changes made to individual bridges over San Pedro Creek, there were changes made to the creek itself. In this section, we examine historic maps to document shifts in the alignment of the San Pedro Creek channel. These early maps are unlikely to provide a detailed, true record of the creek channel. However, we assume that major features are accurately depicted.

Two of the earliest maps showing the creek channel in reasonable detail are the 1836 maps of the Alamo and its surroundings (Figures 5-10 and 5-11). In both maps, San Pedro Creek has a large bend immediate west of the big bend in the San Antonio River, and several smaller bends also are depicted north and south of this larger bend in the creek channel.



Figure 5-10. Map drawn in 1836 showing the Alamo and the surrounding area.



Figure 5-11. *Portion of the map drawn for Santa Anna in 1836 by Colonel Ygnacio de Labastida, Commander of Engineers, showing La Villita and the settlement of Villa de Béjar. Note westward curve in San Pedro Creek channel west of Villa de Béjar.*

The large bend west of the settlement is not depicted in the Frieslaben 1845 map of the creek (Figure 5-12). This portion of the creek channel, running from Salinas Street to Presidio Street, is straight. Its unlikely pattern suggests that the creek channel has been straightened between these streets sometime prior to the drawing of the 1845 map. This would, however, be an early date for modifications to the channel, and no independent corroboration exists for this modification.



Figure 5-12. *In the Frieslaben 1845 map of the creek, the large bend west of the settlement is not depicted.*

To ascertain the original orientation of the creek during the late nineteenth century, the CAR consulted the Municipal Archives for maps depicting properties situated along San Pedro Creek. We could locate historic maps of the creek channel for only a few segments. One set of maps covers the area near the spring itself, and a second series documents several sections to the south. We overlaid these maps onto the 1889 Olson and Sons map, allowing a comparison of the creek channel as depicted in these 1870s and 1889 maps. Figure 5-13 shows the overlay near the Springs, while Figure 5-14 shows an area to the south of the Springs, some of which is within the northern portion of the current project area. As noted regarding the 1836 map of the Alamo Mission (see Figure 5-10), the composite map depicts several small meanders along its course within the project area. The map comparisons suggest that early documentation of the creek was highly variable or that modification of the channel began very early.



Figure 5-13. Composite map of San Pedro Creek channel near the headwaters of San Pedro Springs.

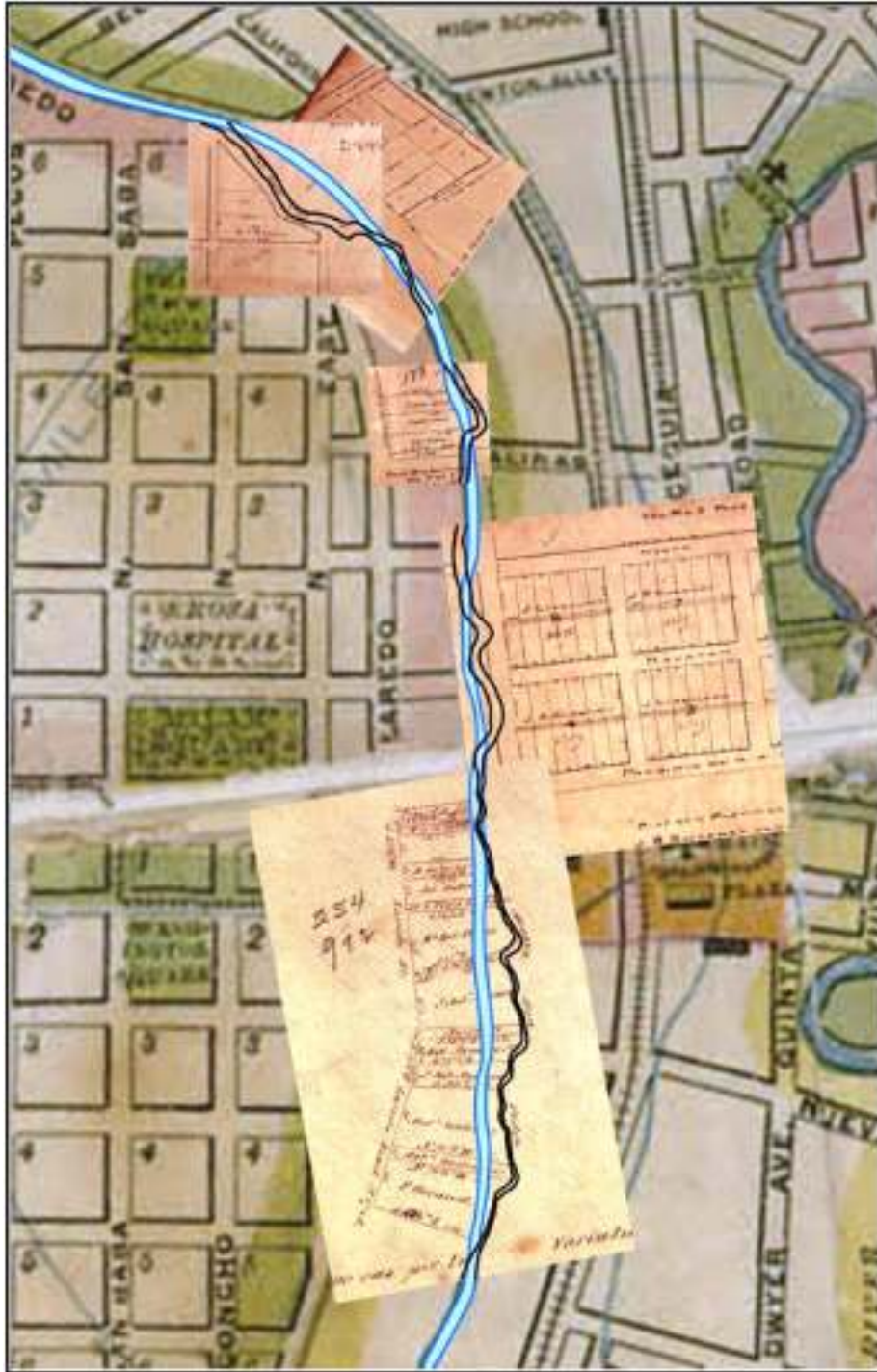


Figure 5-14. Composite map of San Pedro Creek channel in central and northern project area.

While the accuracy of the maps vary, some modification of the creek channel did occur in the late nineteenth century. The changes, some of which can be seen in the channel orientation in the segments identified on Figures 5-13 and 5-14, likely apply to other portions of the creek channel that fall within the project APE.

Retaining Walls

Currently, most of San Pedro Creek is lined with retaining walls, while in other sections, the stream bank is natural earth. Our review of photographs in the UTSA collection identified several images of San Pedro Creek from the 1870s that suggest some sections of the creek were undeveloped. To investigate when most of the retaining walls were constructed, we consulted Sanborn Fire Insurance Maps for the project area beginning with the 1885 sheets. As shown Sanborn Maps will often present some stream segments as hand-drawn, wavy lines suggestive of natural creek banks, while other segments are depicted as straight lines, possibly indicating that some form of a retaining wall lined portions of the creek. While Sanborn Maps do not consistently cover all sections of the project area, if the drawings are accurate they could provide information on when the banks of the creek began to be restricted by retaining walls.

For example, Figure 5-15 shows Sheet 8 of the 1885 Sanborn Fire Insurance Map depicting the area between Dolorosa and W. Houston Streets. The west bank of the creek starting at Dolorosa Street and continuing north of W. Houston Street is depicted as a straight line. Similarly, segments of the east bank between Dolorosa and W. Commerce Streets and running north from W. Houston Street are shown as straight lines, including a short segment of the east bank fronting the Alamo Ice Company. The portion of the creek south of Dolorosa Street is shown in the hand-drawn lines typical of natural creek banks. The depiction of the creek banks as straight, wall-like features remains consistent in Sheet 8 the 1888 Sanborn Map (Figure 5-16). Sheet 6 of the 1892 map covers the portion of the creek between Obraje and W. Houston Streets (Figure 5-17). Contrary to Sheet 8 of the 1885 series, the 1892 map shows the bank of the creek along this block as an undulating feature suggesting that it is not lined by a wall. The portion of the creek south of W. Nueva Street also is shown as an undulating feature in Sheet 7 of the 1892 map (Figure 5-18).

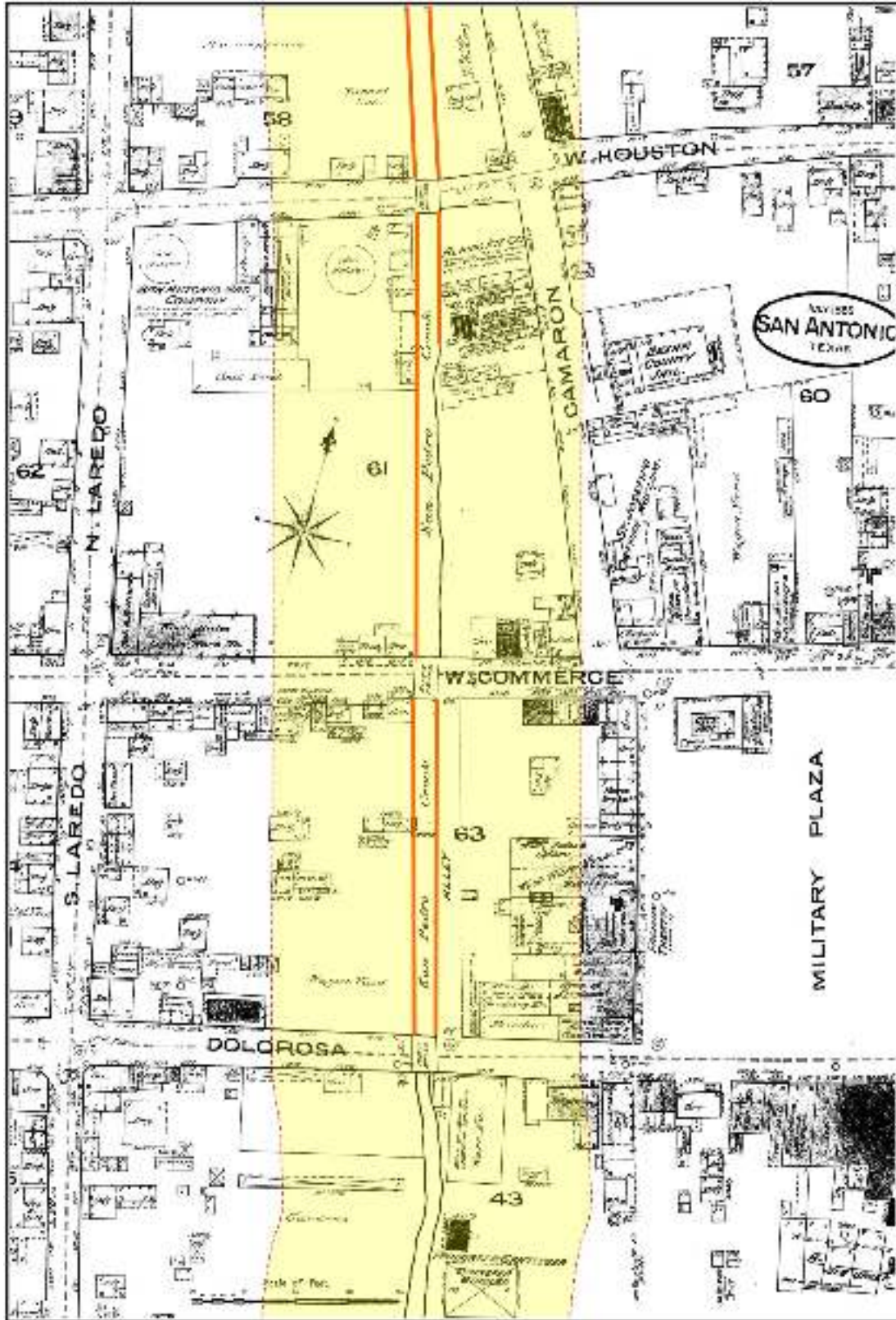


Figure 5-15. Sheet 8 of the 1885 Sanborn Fire Insurance Map. The straight-line depictions of portions of San Pedro Creek are highlighted in orange.

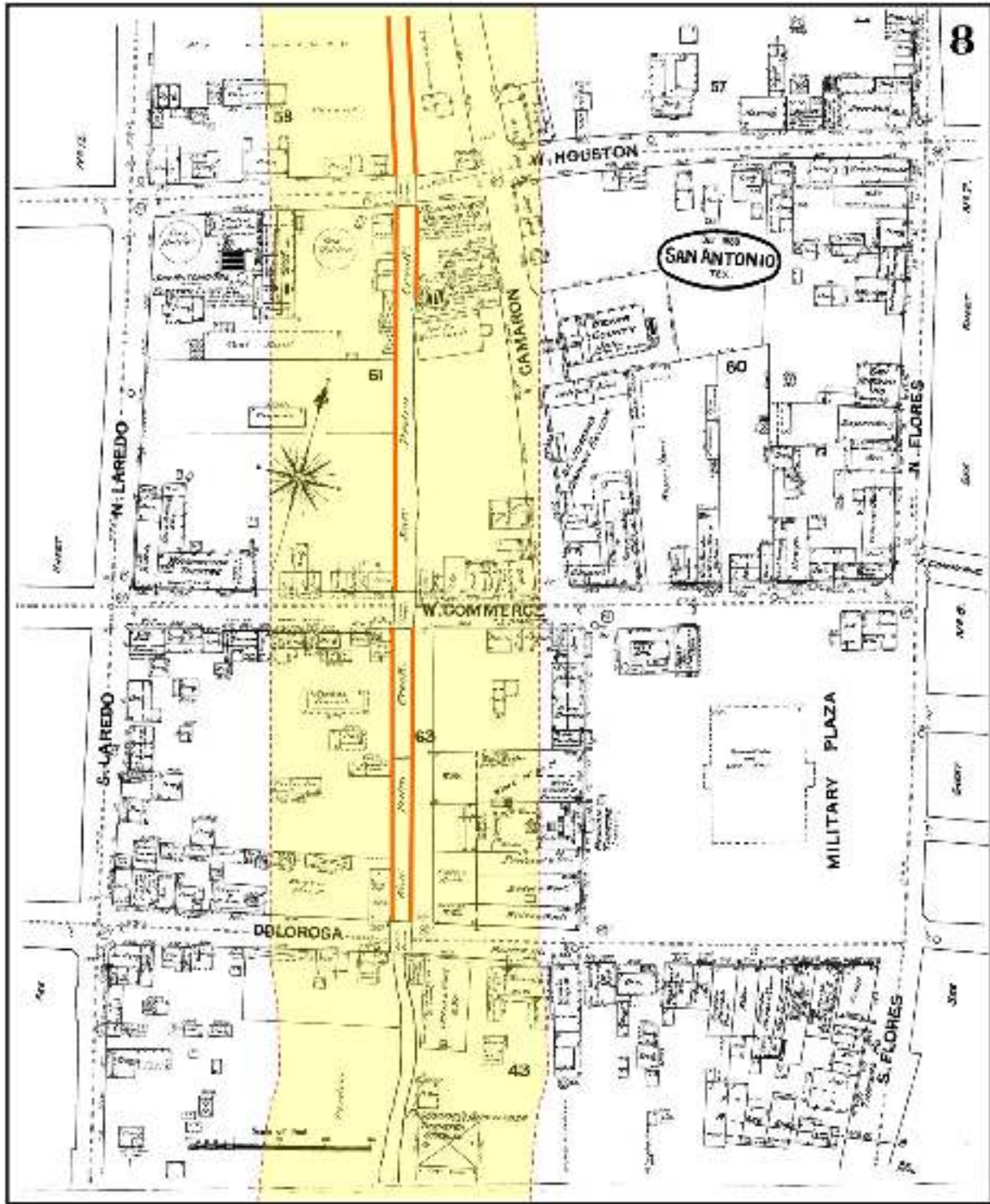


Figure 5-16. On Sheet 8 of the 1888 Sanborn Fire Insurance Map the banks of the creek are represented with straight lines (highlighted in orange).

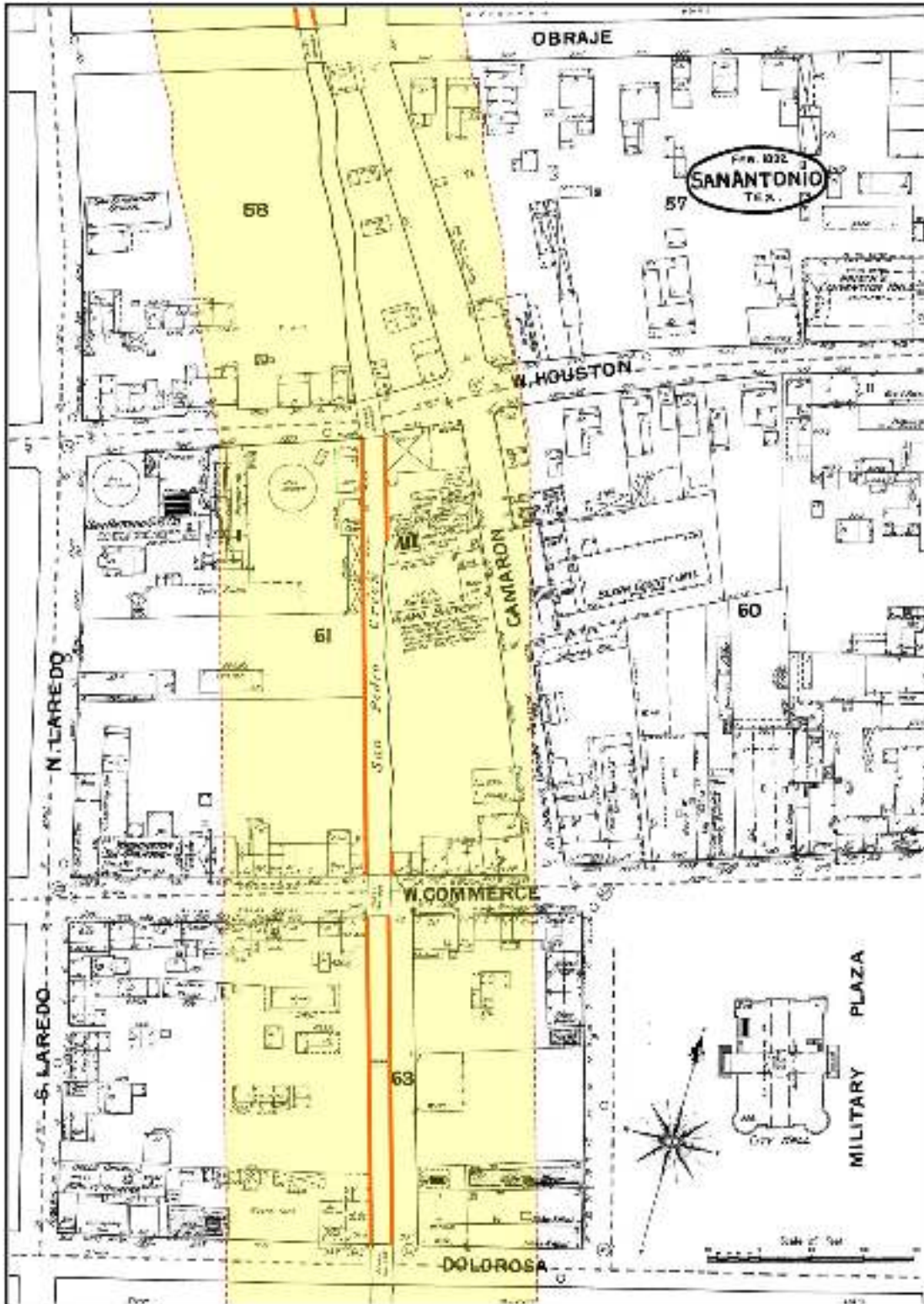


Figure 5-17. Undulating lines (highlighted in orange) on Sheet 6 of the 1892 Sanborn Map suggesting areas where the creek is not lined by a retaining wall.

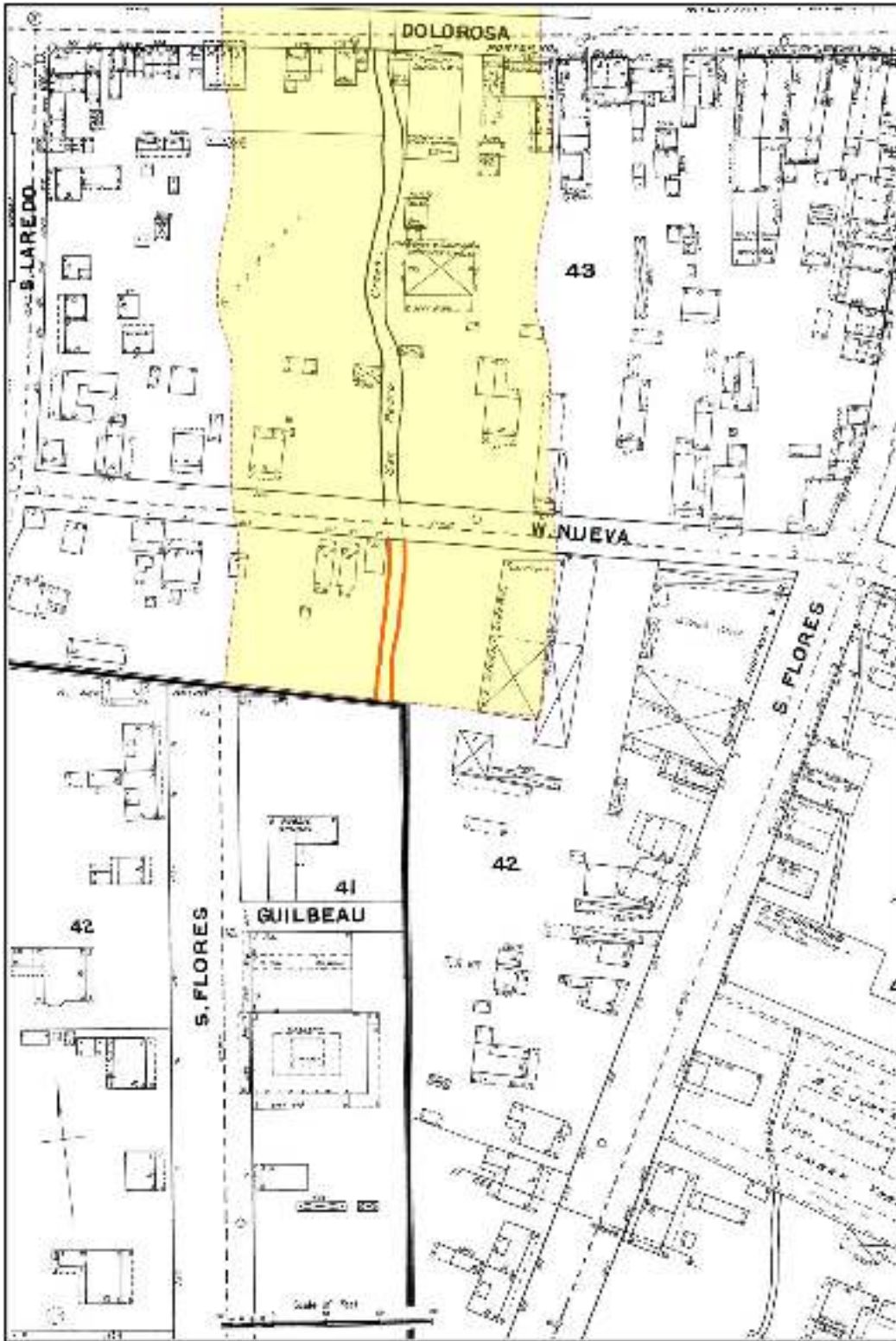


Figure 5-18. Sheet 7 of the 1892 Sanborn Map with the portion of the creek south of W. Nueva Street depicted as an undulating linear feature (highlighted in orange).

The depictions of the San Pedro Creek channel remains consistent through the 1904 Sanborn Fire Insurance Maps, suggesting that the western bank of the creek, and perhaps a short portion on the east bank just south of W. Houston Street, may have been lined with a wall. However, it may also be the case that the straight lines depict property boundaries rather than walls along the active channel. Sheet 3 of the 1911-1924 Sanborn Map depicts the portion of the creek from W. Salinas Street to Commerce Street. The undulating creek bottom is encompassed within straight lines depicting either a property boundary or walls lining the banks of the creek (Figure 5-19).



Figure 5-19. Sheet 3 of the 1911-24 Sanborn Fire Insurance Map, note the straight-line boundaries (highlighted in orange) of San Pedro Creek.

Sheet 2 of the 1922 Sanborn Map also depicted banks as straight lines (Figure 5-20). Furthermore, the undulating creek bottom is not shown in portions of the Salinas-Travis, Travis-Houston, and Houston-Commerce Street blocks. Instead, a concrete bridge is identified as covering the channel just south of W. Houston Street. Similarly, the 1929 map of the suburbs of San Antonio shows portions of San Pedro Creek that appear to be flowing underground (Figure 5-21). The creek channel does not seem to be shown between Lakeview Avenue and Dolorosa Street, and it is shown by dotted lines between Durango (Cesar E. Chavez) Boulevard and just north of Camp Street. The only segment of the creek where a channel is depicted is between Dolorosa and Graham Streets.

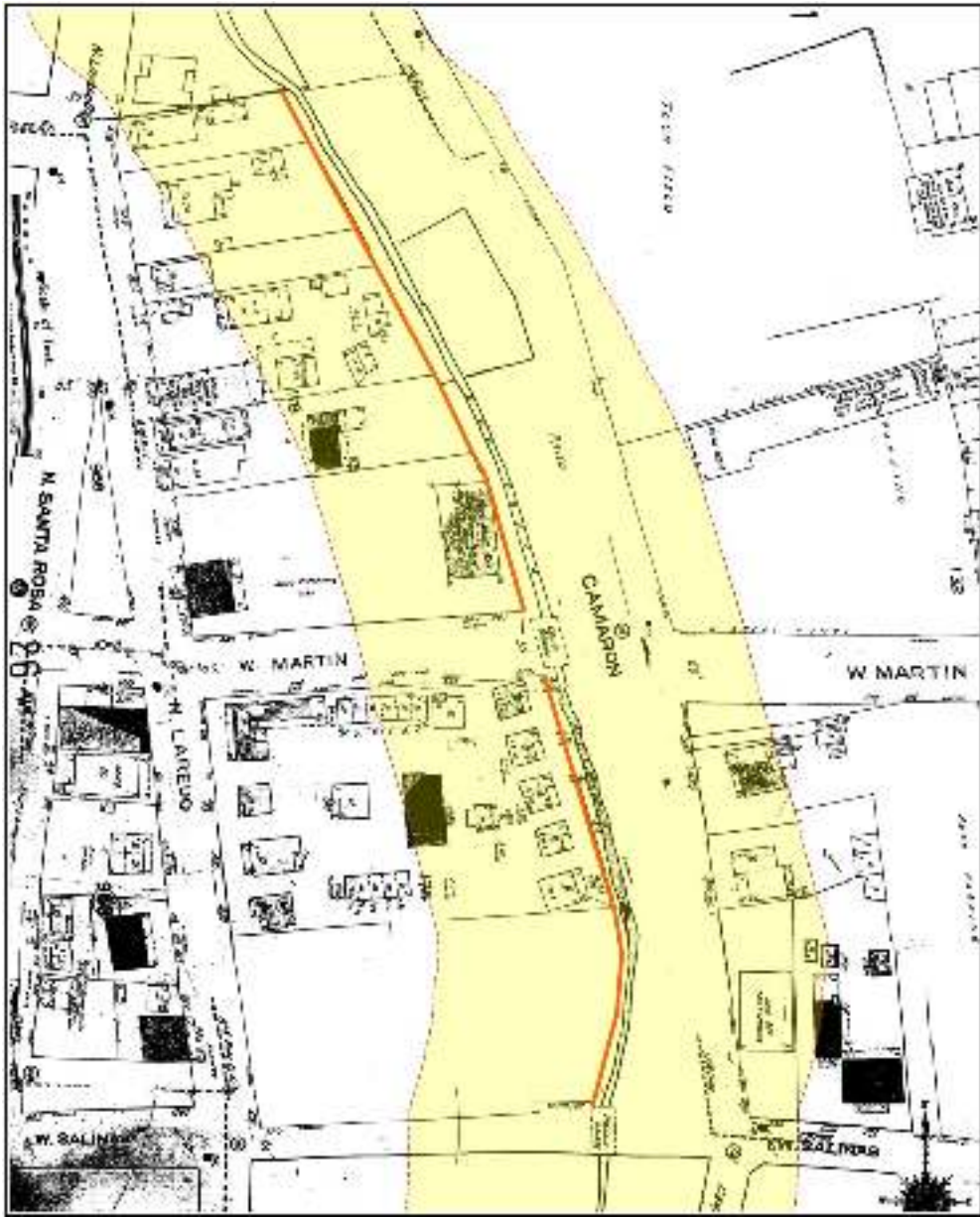


Figure 5-20. Sheet 2 of the 1922 Sanborn Map showing banks depicted as straight lines (highlighted in orange).

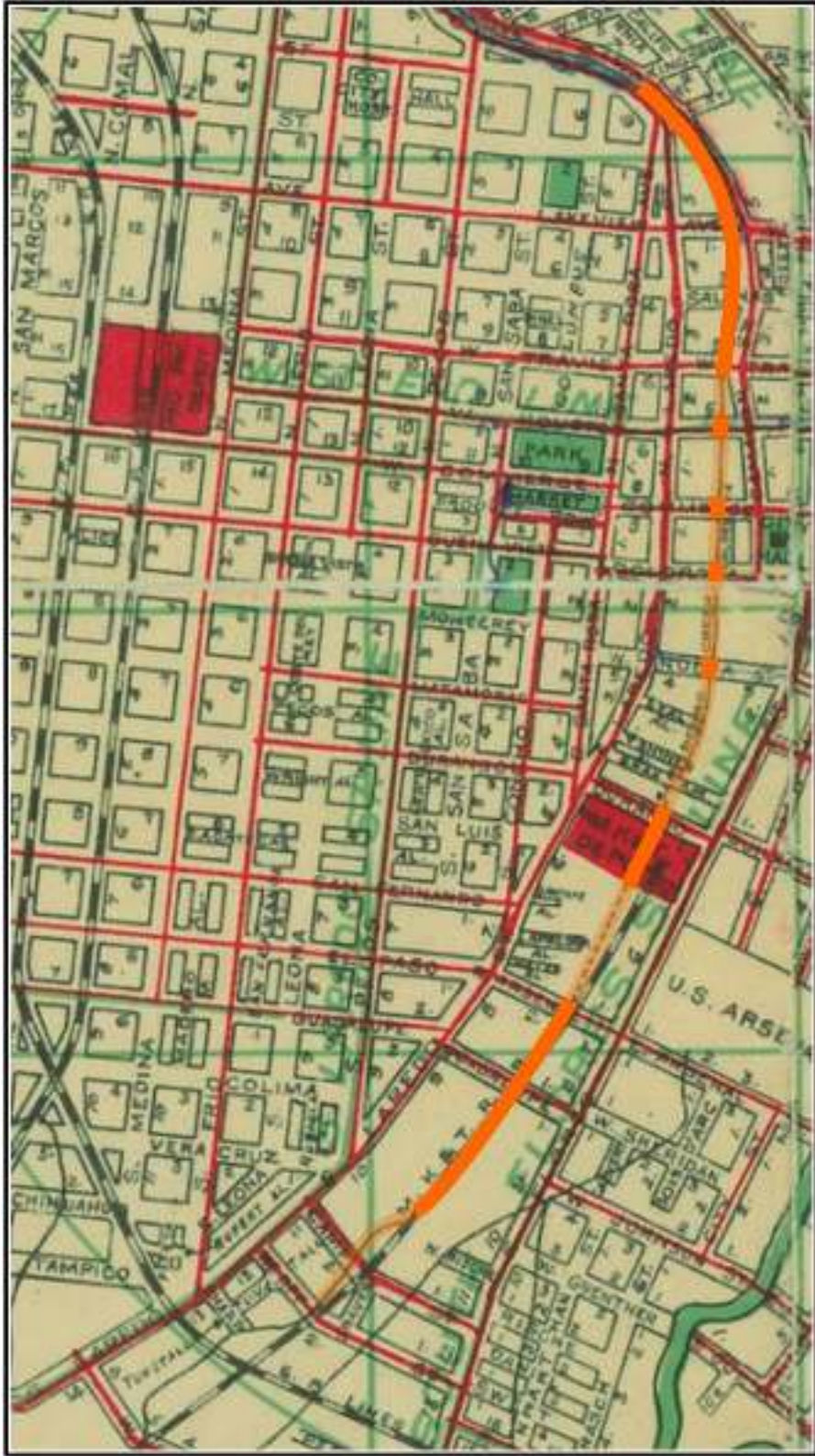


Figure 5-21. The 1929 map of the suburbs of San Antonio shows portions of San Pedro Creek that appear to be flowing underground (highlighted in orange; transparent orange represent areas where the creek is visible aboveground).

Municipal Archives records show that as early as 1919 the City Council passed an ordinance,

[...] for the purpose of preventing the construction of buildings, structures or other obstructions within the channel of said creek and for the purpose of providing right of way to and from said creek in order that said creek may be cleaned and the waters and banks thereof kept free from drift, refuse and other objectionable matter, and also for the purpose of building retaining walls and levies for the prevention of floods. (CCMM OF-135:9)

The ordinance also stated that San Pedro Creek shall have a uniform channel width of sixty feet intended for the purpose of “building retaining walls and levies for the prevention of floods (CCMM OF-135:9). At a meeting on October 13, 1924, the Council members “...authorized to call for bids for the construction of reinforced concrete retaining walls along San Pedro Creek” (CCMM MF-939:287) The plans called for the widening and straightening of the creek at its intersection with W. Travis Street (CCMM MF-939:287). In 1925, the City Commissioner of Streets and Public Improvements had drawn up plans for improvements along portions of San Pedro Creek. Specifically, plans issued by the City’s Engineering Department and dated October 2, 1925, show channel work to be done between Myrtle and W. Park Streets (CCMM CB-104). The work was designed to install a concrete retaining wall along the outside of the meander between these two streets. It is not known whether the retaining wall was installed as planned in 1925. On June 11, 1928, City Council members passed an ordinance authorizing the borrowing of funds “for the purposes of permanently improving the San Antonio River, San Pedro and Alazan Creeks, and drainage ditches and streams in said City, by widening, deepening, altering and changing the channels thereof, and constructing permanent levees and walls along and near the same” (CCMM OG-494). At the January 28, 1929, meeting, a resolution was passed that “authorized the purchase of all material necessary for constructing wall along San Pedro Creek, between Dolorosa and Nueva Streets, on account of flood preservation” (CCMM MI-414). During a Special Meeting on August 31, 1931, the Council passed an ordinance providing for the borrowing of funds for permanent improvements to San Pedro Creek and the San Antonio River, and at their September 29, 1931, meeting, the Council approved the issuance of bonds to pay for the authorized improvements (CCMM MK-775; MK-814). The City Council had established a Flood Prevention Fund in 1924, and at a meeting on February 27, 1934, they approved the appropriation of funds of Civil Works Project 4652-D-6 and 601-C-8 (CCMM MM-150). The projects were for “[...] the repair and changing the channel thereof, and by constructing walls along the same by lining San Pedro Creek with rock retaining walls from the upper end of San Pedro Creek to Martin Street, approximately 8,000 feet, and straightening the channel from the Southern Pacific Railroad tracks, to the junction for the San Pedro Creek with the San Antonio River” (CCMM MM-150:107). Additional funding was approved for improvements to San Pedro Creek and for the construction of several bridges on September 18, 1936 (CCMM OH-203:575). While

minutes of City Council Meetings dating to the mid-to-late 1930s indicate a push to fund San Pedro Creek improvements through public bonds, no such bonds were approved by the public during the late 1930s to beautify the channel of San Pedro Creek. However, by 1941, two *San Antonio Express News* articles describe the upcoming work scheduled to be done along San Pedro Creek, aided by the Works Progress Administration (WPA; 7 January 1941; 27 July 1941). The work was to include deepening and widening the channel, paving the creek bed, building a retaining wall, and removing debris. This work coincides with WPA-led beautification efforts along the San Antonio River that led to the lining of long stretches of the channel with limestone walls. The digital photo collection at UTSA also contained images, dating to the late 1940s, of ongoing work in the channel of the creek (Figure 5-22). It is not known if this was the work that was described in the 1940 *San Antonio Express News* articles or if additional funds had been made available for new work along the creek and river. Finally, in a meeting held on February 11, 1960, Council members passed an ordinance granting the SARA easement to the channel of San Pedro Creek “for the purpose of constructing, operating, and maintaining a flood control channel [...]” (CCMM JJ:115). This project was part of the San Antonio Channel Improvement Project, San Pedro Creek, Texas.



Figure 5-22. *Work along the channel of San Pedro Creek sometime in the late 1940s (UTSA – digital photo collection).*

On the current project, both banks of San Pedro Creek were visually inspected and photo-documented. The crew did not enter the walled creek channel to inspect the construction. However, in most instances, the photographs of the sections provided sufficient detail to determine the nature or sequence of construction. In addition, we relied on recent photographs, provided by Brice Moczygemb, of Pape-Dawson Engineers, Inc., and Steve Tillotson of Munoz and Company, to verify our assessments. Nevertheless, there are areas of the APE in which additional inspections are warranted. In portions of the APE, we suspect that the original rock wall may be hidden by a coat of cement parging or reinforced concrete. Unfortunately, inspections would require the chipping away of the plaster to establish if the stone wall remains. In other instances, however, the surface is deteriorating and revealing the underlying stone wall. Table 5-2 presents a summary of the retaining walls noted during the survey and photo-documentation of retaining walls within the project APE.

Table 5-2. Retaining Wall Segments along Portion of San Pedro Creek within the APE

| Location | West Bank | East Bank |
|--|---|---|
| N. Santa Rosa Avenue to Martin Street | Rock | Rock |
| Martin to Salinas Streets | Rock under cement veneer | Concrete |
| Salina to Travis Streets | Formed concrete | Rock |
| W. Travis to W. Houston Streets, center of block | Concrete | Concrete (north 2/3); rock with concrete parapet (southern 1/3) |
| W. Houston to W. Commerce Streets, north end of block (Alameda Theater) | Concrete | Rock |
| W. Houston to W. Commerce Streets, center of block (Alameda Stagehouse) | New concrete (currently impacted by construction) | Concrete |
| W. Houston to W. Commerce Streets, south end of block (Dollar General Store) | Rock and brick under building foundation | Brick culvert with concrete columns |
| Commerce Street Bridge | Rock and concrete | Rock and concrete |
| W. Commerce to Dolorosa Streets, north end of block | Rock under building foundation and behind cement veneer. Low concrete revetment wall present. | Rock (north 1/2) Concrete (south 1/2) |
| W. Commerce to Dolorosa Streets, south end of block | Rock under peeling cement veneer | Concrete |
| Dolorosa to W. Nueva Streets, center of block | Rock | Concrete |
| W. Nueva Street to Graham Avenue, center of block | Rock | Rock |
| Graham Avenue to Durango (Cesar E. Chavez) Boulevard, center of block | Rock | Rock |
| W. Arsenal to Guadalupe Streets, center of block | Concrete (end of tunnel) | Rock under cement veneer |
| Guadalupe to Camp Streets, center of block | Concrete | Concrete |

Both banks of San Pedro Creek channel between N. Santa Rosa Avenue and Martin Street are lined with walls made of cut limestone. The stone wall is also preserved from Martin Street to Salinas Street under a cement veneer. This section of the creek along the Soap Works apartment area, parallel to Camaron Street, may have been modified. According to excavations conducted by CAR in 1979 (Ivey 1979), a stone-lined drain was found extending from beneath the Soap Works and under the floor of the engine room. The extent and direction of the drain could not be determined. However, the drain was lined with large, square-cut, limestone blocks. Iron pipes and straps were found intentionally embedded in the ground and foundations. This stone-lined drain may have been an early drain for the fluids from vats that went out of use in the early operations of the factory. A wall found against the north wall of the basement may have been another blocked, stone-lined ditch that conducted water into the building from the creek (Ivey 1979).

Photographs taken of the stone walls in their current condition indicate that several styles of stone work and at least three different episodes of rock wall construction might have occurred within the current project limits (Figures 5-23, 5-24, and 5-25). While we do not have the precise ages of these construction episodes, it is likely that they date from the 1920s, the early 1940s, and the late 1940s. It is possible that the walls constructed in the 1940s involved WPA crews.



Figure 5-23. *Wall showing two sequences of construction, both likely post-dating 1940s.*

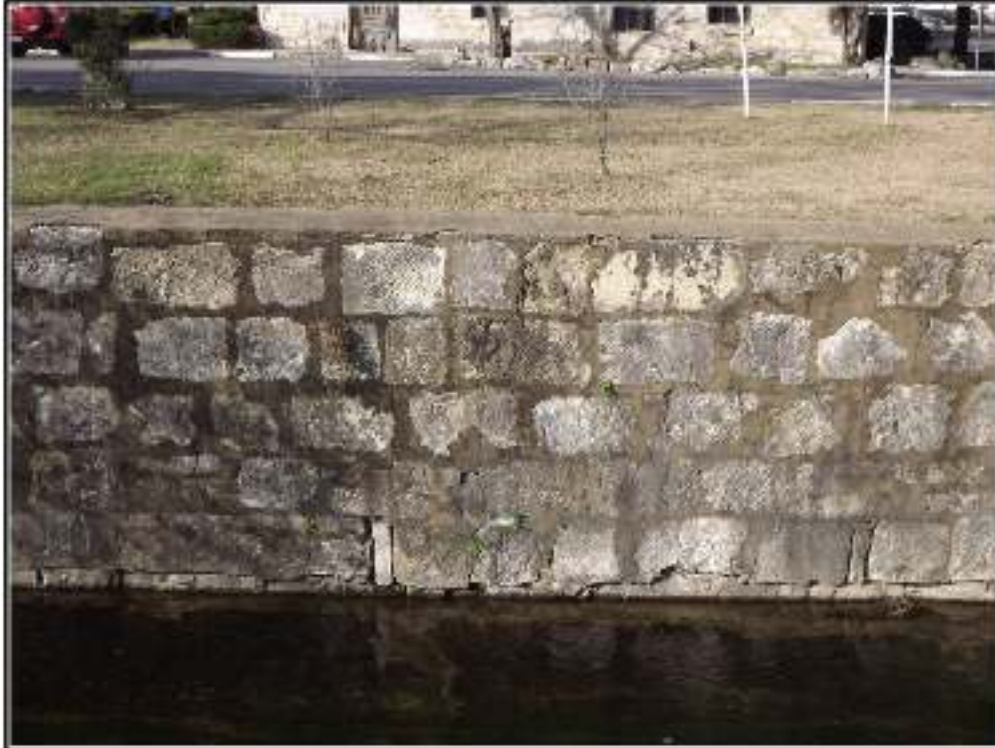


Figure 5-24. *Stone wall along west bank of creek, likely WPA-era construction.*



Figure 5-25. *Stone wall along San Pedro Creek showing two construction episodes, potentially dating to the late 1940s and thereafter.*

Further south of W. Houston Street and continuing to the northern half of the W. Commerce Street to Dolorosa Street block, the stone wall may be hidden behind a thick concrete/cement veneer (Figure 5-26). This is surmised from the fact that in the southern half of the W. Commerce Street and Dolorosa Street block, the stone wall is actually visible under the veneer (Figure 5-27).



Figure 5-26. *Thick veneer of cement on retaining wall on west bank of San Pedro Creek just south of W. Commerce Street. Note possible original rock retaining wall under bridge.*



Figure 5-27. *Original stone wall visible under peeling cement veneer, west bank of river just north of Dolorosa Street.*

From Dolorosa Street to the south, the rock retaining wall is visible along the west bank of the creek until W. Durango (Cesar E. Chavez) Boulevard when the creek enters the tunnel and is no longer visible until it emerges south of W. Arsenal Street. Within this section, midway between Dolorosa and Nueva Streets, the original rock retaining wall is deteriorating in spots. In one of these areas, an outer veneer of rock appears to be peeling off to reveal an older rock wall (Figure 5-28).



Figure 5-28. Possible outer rock veneer peeling off an older stone wall along west bank of creek between Dolorosa and Nueva Streets.

From Durango (Cesar E. Chavez) Boulevard south to near Camp Street, a concrete wall of post-1960s construction lines the bank. The bank of the creek is unlined south of Camp Street.

On the east bank of the creek, south of W. Salinas Street, the original rock wall is visible under the cement veneer or fully exposed until north of W. Commerce Street. The rock wall is also visible south of Commerce Street to near W. Nueva Street. Between Graham Avenue and W. Durango (Cesar E. Chavez) Boulevard, a cut-stone wall lines the east bank of the creek until it goes underground. Once the creek exits the tunnel, the east bank is lined by a cement-covered retaining wall that may be a veneer on top of the original stone wall. For the remainder of its route, beginning south of Guadalupe Street, a concrete wall lines the east bank and is the natural bank south of Camp Street.

The inspection of the retaining walls lining both banks of San Pedro Creek in combination with the history of administrative actions by the City suggests that the APE contains stone retaining walls that date to the WPA period of involvement in the beautification of the waterways of San Antonio. Some of the stone walls exhibit several episodes of repair, and longer stretches of wall contain veneers on top of the original stone façade. Finally, in at least one instance, the stone façade is peeling off to reveal an underlying stone wall. One or more stone veneers may also have been applied to the original stone walls.

Based on the City's actions, multiple episodes that prompted work on San Pedro Creek during San Antonio's history are evident. The work related to the bridges that spanned the creek and the implementation of flood control measures. In some instances, the work was performed under the jurisdiction of the City, the SARA, or the WPA. The examination of the retaining walls present within the APE seems to preserve this complex history of alteration of the channel. It is likely that portions of the stone wall date to the WPA era and are potentially eligible for listing on the National Register. These segments are situated near the northern portion of the project APE between N. Santa Rosa Avenue, Martin Street, W. Salinas Street, and smaller segments are also found south of Salinas Street on both banks of the creek. Other retaining wall segments have seen significant impact, such as the application of a reinforced concrete/cement on the outer face of the rock wall. This veneer is peeling in places. The eligibility of these veneered segments for listing on the National Register depends on the degree of impact on these underlying wall segments. In other portions of the project area, where the veneer is thicker or has not peeled off, questions remain as to whether there is a rock wall under this outer layer. Additional investigations may provide an answer to this question. The eligibility of these retaining walls for listing on the National Register depends on what lies behind the veneer and its preservation condition. Finally, along the southern portion of the project APE (south of Camp Street), the retaining walls are constructed of solid concrete that likely post-dates 1960 and are architecturally not unique. Therefore, we recommend that these segments are not eligible for listing on the National Register.

Chapter 6: Historic Resources along Upper San Pedro Creek

The APE from Kingsbury Street to Travis Street

This section of the report provides brief summaries of the results of the deed research conducted on the properties that fall within the project boundaries. Each property is identified with a property identification number from the Bexar County Appraisal District (BCAD). A historic resource number was assigned to each historically significant structure, and this number appears in parentheses following each property number. The project corridor starts at Columbus Street where San Pedro Creek is bounded by Camaron and Perez Streets (Figure 6-1).

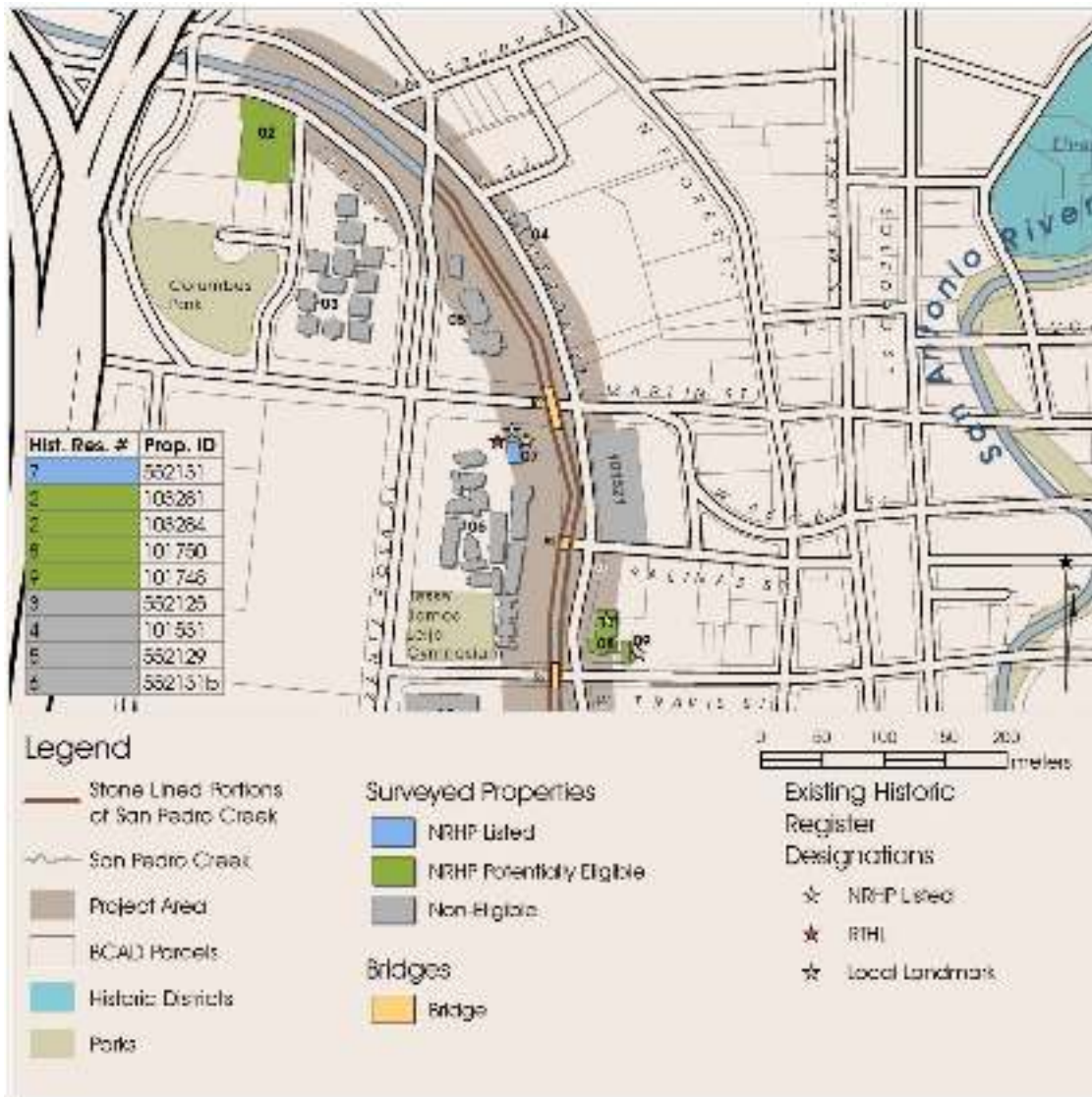


Figure 6-1. The APE from Kingsbury Street to Travis Street.

Property 103281 and Property 103284 (Historic Resource 2)

In 1970, this property (103281 BCAD) was conveyed to the Christopher Columbus Italian Society by the Urban Renewal Agency of San Antonio (BCDR 7417:0092). No improvements are listed for this property, and it serves as a parking lot. The lot south of 103281 also belongs to the Christopher Columbus Italian Society and was conveyed to them in 1964 by Frost National Bank of San Antonio (BCDR 5141:409). This property (103284 BCAD) had no improvements listed on it, and it is used as a parking lot. The properties are listed here because archival records suggest that this high spot overlooking San Pedro Creek may have been the first location of the *Villa de Béxar* or the *San Antonio de Béxar* Mission. No archaeological investigations have been conducted on the two lots, but given the long-standing belief by former staff of the CAR, it is suggested that archaeological investigations should be carried out within the properties and in their vicinity to determine whether early eighteenth-century materials are to be found there. Until such research is carried out, the two lots are recommended as potentially eligible for listing on the National Register.

Property 552125 (Historic Resource 3)

This property, New City Block (NCB) 14482, Lot 2, contains twelve apartment units. The twelve units fall outside of the project limits, but even so, they are of modern construction and are not considered eligible for listing on the National Register. The lot was granted to DHL Towne Center, Limited by Town Center Joint Venture in 1993 (BCDR 5813:0210). Town Center Joint Venture is mentioned as the owner in a 1977 amendment document (BCDR 927:450). The property is not recommended as eligible for listing on the National Register.

Property 101531 (Historic Resource 4)

This property is located just east of the San Pedro Creek and Camaron Street and is the playing fields for Fox Tech High School. Only one structure is on the property, and it probably dates after 1960. The property is not recommended as eligible for listing on the National Register.

Property 552129 (Historic Resource 5), Property 552131: San Antonio Soap Works (Historic Resource 7), and Property 552131b (Historic Resource 6)

In Figure 6-1 the properties are labeled as 552129 (600 S. Santa Rosa) and 552131 (500 S. Santa Rosa; BCAD). These two properties are NCB 14483, Lot 2, and NCB 14485, Lot 4. In 1846, Johann Simon Nicolas Menger and his wife Augusta Schoeniger Menger emigrated from their native Prussia to Texas. They lived near New Braunfels for two years and then moved to San Antonio (Ivey 1979). On July 12, 1851, Menger purchased the F.W. Klemcke soap business (BCDR K1:58). Klemcke had established the soap-making operation before 1851 on a lot some distance south of Rivas (Houston) Street, fronting 14 varas on San Pedro Street (Camaron Street) and running back west to San Pedro Creek (Ivey 1969). In

1856, he bought the remainder of the lots along Camaron Street between the soap factory and Rivas (Houston) Street (BCDR N2:260, 467).

When a flood swept through San Antonio in 1859, the factory was seriously damaged (Ivey 1979). On June 28, 1861, Menger found a new location for the new soap factory (BCDR S2:114), and by 1862, it was completed. The new location of the factory could be due to the irrigation ditch that probably extended from the San Pedro Springs to beyond the property some 50 feet west of the San Pedro Creek (BCDR S2:371). Menger built the new soap factory less than eight feet from the line of the ditch and may have diverted the flow of water into the factory (Ivey 1979).

In 1882, Menger sold the Soap Works to his sons and retired from the business (BCDR 22:209; BCDR 23:47). Erich Menger, Sr. assumed control of the business (Ivey 1979). In 1897, Erich Menger, Sr. sold the Soap Works to Erich Menger, Jr. By 1911, several of the outside frame structures had been removed, and soon afterward the Menger Soap Works closed down (Ivey 1979). The building continued to be used, and in 1950, it was converted into apartments. In 1975, Callaway Corporation restored the building to house a recreation facility and leasing office for an apartment complex. Currently, the properties are occupied by the Soap Works apartment complex (BCAD 552131b). Property 552131 is already listed on the National Register. Property 552129 and Property 552131b are not recommended as potentially eligible for listing on the National Register.

Property 101750 (Historic Resource 8)

Built in the early twentieth century (ca. 1907), the Sam Houston School (NCB 149, Lot 17) served as Public School No. 1 through the 1950s. It also served as the San Antonio Council for Retarded Children Playtherapy Center, and more recently it was a nursing school. It is currently owned by the Travis Building LLC (BCAD 101750). The property is recommended as potentially eligible for listing on the National Register.

Property 101748 (Historic Resource 9)

This is a small and narrow residence with both a front and an atypical side entry. It is estimated that it was built during the late nineteenth century (ca. 1890s), and it has seen a number of renovations including the metal roof currently on the structure. At some point, it was the Continental Barber Shop. Privately owned by a Mrs. Augustine Pruneda of Mission, Texas, (BCAD 101748), the building is currently vacant, and its windows and doors are boarded. The property is recommended as potentially eligible for listing on the National Register.

The APE from Travis Street to Dolorosa Street

This portion of the APE (Figure 6-2) extends from W. Travis Street on the north to Dolorosa Street at the southern end. Portions of four properties that lie within the project boundaries consist of parking lots. They include property numbers 552133, 101751, 110120, and 110122 (BCAD). One parking lot is located north of Penner's Retail Shop and east of the creek (110122 BCAD). The second parking lot is on the east side of the creek on the corner of Houston and Camaron Streets (110120 BCAD).



Figure 6-2. The APE from Travis Street to Dolorosa Street.

Property 552133 (Historic Resource 10)

This land is currently owned by Christus Santa Rosa (NCB 14486, Lot 2; BCAD 552133). According to the BCAD, there are no improvements on the land though the land shows two structures. No deed records were located for the property. The property is not recommended as eligible for listing on the National Register.

Property 101390 (Historic Resource 11)

This property is NCB 119, Lot 19, and it is the Frost Motorbank. Although the structure appears to be historic, the stones used in the building are from the First Presbyterian Church that once stood at the corner of Houston and N. Flores Streets (COSAOHP 2014). The limestone blocks were in storage and, later, were used for the bank, which was constructed in 1989. The property is not recommended as eligible for listing on the National Register.

Property 101426 (Historic Resource 12)

This property (NCB 122, Lot 13) is located off Houston and Camaron Streets, adjacent to property 101437. The structure on the land, which was constructed in 1920, is currently used as a Domino's Pizza. The property is owned by Joseph W. Bitter et al. The property is already listed on the National Register.

Property 101217i and Property 101217b: Alameda Theatre (Historic Resources 13 and 14)

The Alameda Theatre (314 W. Houston Street) is located along the project corridor, west of San Pedro Creek and south of W. Houston Street (NCB 105, Lot 4). The brick building was constructed during 1945-1949, and the architect was N. Straus Nayfach. It is an example of Art Moderne and reflects San Antonio's Mexican heritage. The theatre was a significant place for Mexican entertainers to perform. The property is currently owned by the City of San Antonio and was conveyed from Herbert P. and Harriet Hartstein in 1995 (BCDR 6324:2071). The oldest deed that was encountered was dated 1946, about the time the theatre was constructed. At the time of construction, the property would have belonged to G.A. and Lula V. Lucchese, and the land was conveyed to them from Ignacio Torres (BCDR 2260:297). According to Sanborn Maps, the land was occupied by the San Antonio Gas and Electric Company until 1904. Both properties are recommended as potentially eligible for listing on the National Register.

Property 101221 (Historic Resource 15)

This property (NCB 105, Lot 20) is on the west bank of the San Pedro Creek bounded by the Alameda Theatre to the north. It is between W. Houston and Commerce Streets. According to the BCAD, the land is occupied by an office building that was built in 1935 (BCAD 101221). The remaining portion of the property serves as a parking lot. In 1975, the land was conveyed to H.G. Coker, Jr. by Sarah Basila, Gregory F. and Marjorie T. Basila, and Helen and James Haley (BCDR 7736:414). The property is not recommended as eligible for listing on the National Register.

Property 101216 (Historic Resource 16)

This property (NCB 105, Lots 5, 6, and 7) is owned by Curtis Gembler (BCAD 101216) and was constructed ca. 1901 (City Directory). This building has housed a series of commercial properties, such as Crescent Loan Co., Rosenmann Clothing Company, and, later, Leeds for which it is locally designated (City Directories). The property is recommended as potentially eligible for listing on the National Register.

Property 101213 (Historic Resource 17)

According to a San Antonio Conservation Society Building Resources Survey, this property (NCB 105, Lot 8) has buildings on it that date to 1896. The buildings are currently owned by Kline of San Antonio INC (BCAD 101213). Prior to Kline, the property belonged to the Urban Renewal Agency of the City of San Antonio (BCDR 14629:744). The property is mentioned in a 1906 document about a party wall agreement (BCDR 242:524). The property is recommended as potentially eligible for listing on the National Register.

Property 101215 (Historic Resource 18)

The property (NCB 105, Lots A9, A10, and A13) is currently owned by 331 West Commerce LP (BCAD 101215). Following its construction ca. 1900 (City Directory), the building housed a series of commercial businesses, such as Crown Tailoring Co., Spector Dry Goods, Texas State Optical, and a tuxedo rental store (City Directories). The property is recommended as potentially eligible for listing on the National Register.

Property 101214 (Historic Resource 19)

This property is currently a Dollar General store owned by Penner (BCAD 101214). It is just north of Commerce Street and the creek. In 1948, Carlos and Zella Guerguin conveyed the land to Ben L. Penner, Max J. Penner, and Sam Penner (BCDR 257:102). A lease agreement from 1953 indicates the building existed on Lots 11 and 12 and was owned by the Penner family (BCDR 3379:537). At this time, the property was leased to Woolworth Co. Early depictions of the property show feed and grocery stores on the corner. The property is recommended as potentially eligible for listing on the National Register.

Property 101437 (Historic Resource 20)

This property is located on the corner of Houston and Camaron Streets (NCB 122 Lot 19; BCAD 101437). The structure on this property has an estimated construction date of 1877 to 1895. In 1908, the property was granted to Alfred Haubold by Herman Haubold and Anna Menger Haubold (BCDR 282:558). The property was conveyed to Juanita Garza Flores in 1973 from Paul C. Vasquez (BCDR 7239:726). In 2012, the land was conveyed to Acosta Stockyard Properties from Juanita Garza Flores (BCDR 1540:538). The property is already listed on the National Register.

Property 101219 (Historic Resource 21)

This property is located west of San Pedro Creek and the Alameda Theatre (NCB 105) and is bound by Travis Street to the north and Laredo Street to the west. The building is part of the Alameda Theater block. According to the BCAD (101219), the improvements on the property date from 1935 to 1950. The land was conveyed to Ernest Diacumakos in 1948 by J.S. Younes (BCDR 3448:549). In 1991, the property was conveyed to Mary Diacumakos from her husband Ernest Diacumakos (BCDR 2447:1122). The property is recommended as potentially eligible for listing on the National Register.

Property 110123 (Historic Resource 22)

This property (NCB 913, Lot E) is located off Camaron Street, north of Commerce Street (BCAD 110123). The structure on the property has an estimated construction date of 1878. The building is one of several ice manufacturing businesses along San Pedro Creek, and the building is also known for its role as Artes Graficas. The property is currently owned by Leo Alvarado, Jr., Family LTD & Warren Weir. The property is already listed on the National Register.

Property 110124 (Historic Resource 23)

This lot (NCB 913, Lot 3) is owned by Michael Penner and Matthew and Melanie Wienberg (BCAD 110124). Penner's store and a storage warehouse occupy the land, and both are noted as being built in 1962 (BCAD 110124). The property was conveyed to Colin C. Locke by J.R. Locke, Mignon L. Knipe, and W.D. Knipe in 1960 (BCDR 4469:485). In 1972, the property was conveyed to Max J. Penner and Sam Penner by Colin C. Locke (BCDR 6803:334). The current buildings on the property may have been built prior to the Penner's ownership of the land and constructed by Locke since they are listed as being built in 1962. The property is not recommended as eligible for listing on the National Register.

Property 102550 (Historic Resource 38) and Property 102552 (Historic Resource 40)

This property is just south of Commerce Street and bound by San Pedro Creek to the east. According to the BCAD, three buildings occupy these lots (NCB 254, Lots 1-4), and they were reportedly built in 1890 (BCAD 102550). The City of San Antonio currently owns the structure, and it houses the San Antonio Metropolitan Health District along with other organizations. In 1980, Plaza Continental was conveyed the land from J.R. Building Corp (BCDR 2130:869). The property was conveyed to the City of San Antonio in 1986 by Continental Investors LTD, also known as Plaza Continental Inc. (BCDR 3898:1325). The property is recommended as potentially eligible for listing on the National Register.

NCB 254, Lot N, consists of a storage warehouse constructed in 1979 (BCAD 102552). This property is to the south of property 102550 and bound by the creek to the east. The property is included in the same deed as NCB 254, Lots 1-4 (BCDR 3898:1325). The property is already listed on the National Register.

Property 102551 (Historic Resource 39)

The property on this lot (NCB 254, Lot S) belongs to Paul Carter, and according to the BCAD, there are three structures on it that date to 1880, 1920, and 1935, respectively (BCAD 102551). The property is just north of Dolorosa Street, and the creek runs to the east. In 1978, the Urban Renewal Agency of the City of San Antonio conveyed the property to David Carter (BCDR 1097:23). The property was conveyed to Paul Carter in 1991 by David and Emma Carter (BCDR 4765:1026). The property is already listed on the National Register.

Property 101354: Military Plaza and the Spanish Governor’s Palace (Historic Resource 42)

This property is occupied by the Spanish Governor’s Palace (NCB 117). Military Plaza (*Plaza de las Armas*) was established in 1722 by the Spanish Garrison. In 1762, Governor Navarete claimed the structure of the Spanish Governor’s Palace as his office. José de Urrutia, the captain of the presidio, was possibly the resident of the Spanish Governor’s Palace in 1767 (Fox 1997). The property belonged to Luis Antonio Menchaca by the late 1700s. Luis was the son of Antonia de Urrutia, the daughter of Captain José de Urrutia, and it is possible the property passed to her via inheritance. After Luis’s death in 1793, the property passed to his son José Menchaca. José Menchaca served as a captain in the Bexar presidial company and retired in 1801. It was at this time he conveyed the property to Juan Ygnacio Pérez. The house was west of the guardhouse and the *Plaza de Armas* (Fox 1997:6). Ygnacio Pérez’s daughter and husband occupied the property thereafter. In the mid-1800s, the Spanish Governor’s Palace turned commercial. In 1872, the owner at the time, Trinidad Perez, leased the property to Charles Guerguin (BCDR XI: 28). Trinidad Perez later conveyed the property to her niece Concepcion and her husband Frank F. Walsh (BCDR 587:164). The property was conveyed to the City of San Antonio in 1929 (BCDR 438:535). The property is already listed on the National Register.

Property 1099015 (Historic Resource 24)

This property (NCB 117 Lot 1) is located east of Calder Street and the San Pedro Creek (BCAD 1099015) within Military Plaza. Currently the property is owned by Suneson Holding LLC and is a retail store. The land was granted to Suneson Holding LCC in 2007 by Pablo Jacobo Suneson Bautista (BCDR 12938:936). The property is not recommended as eligible for listing on the National Register.

Property 101355 (Historic Resource 43)

The property (NCB 117, Lots A2-A5) is also within Military Plaza and is just south of the Spanish Governor’s Palace (BCAD 101355). Offices and a restaurant are located on this property. The land was granted to the City of San Antonio in 1986 by Frank Supulveda (BCDR 3898:1321). According to the BCAD, the structures on the land date to 1880 (BCAD 101355). The property is already listed on the National Register.

The APE from Dolorosa Street to Durango (Cesar E. Chavez) Boulevard

Fourteen properties are within this portion of the APE that extends from Dolorosa Street at the north to Durango (Cesar E. Chavez) Boulevard at its southern terminus (Figure 6-3).

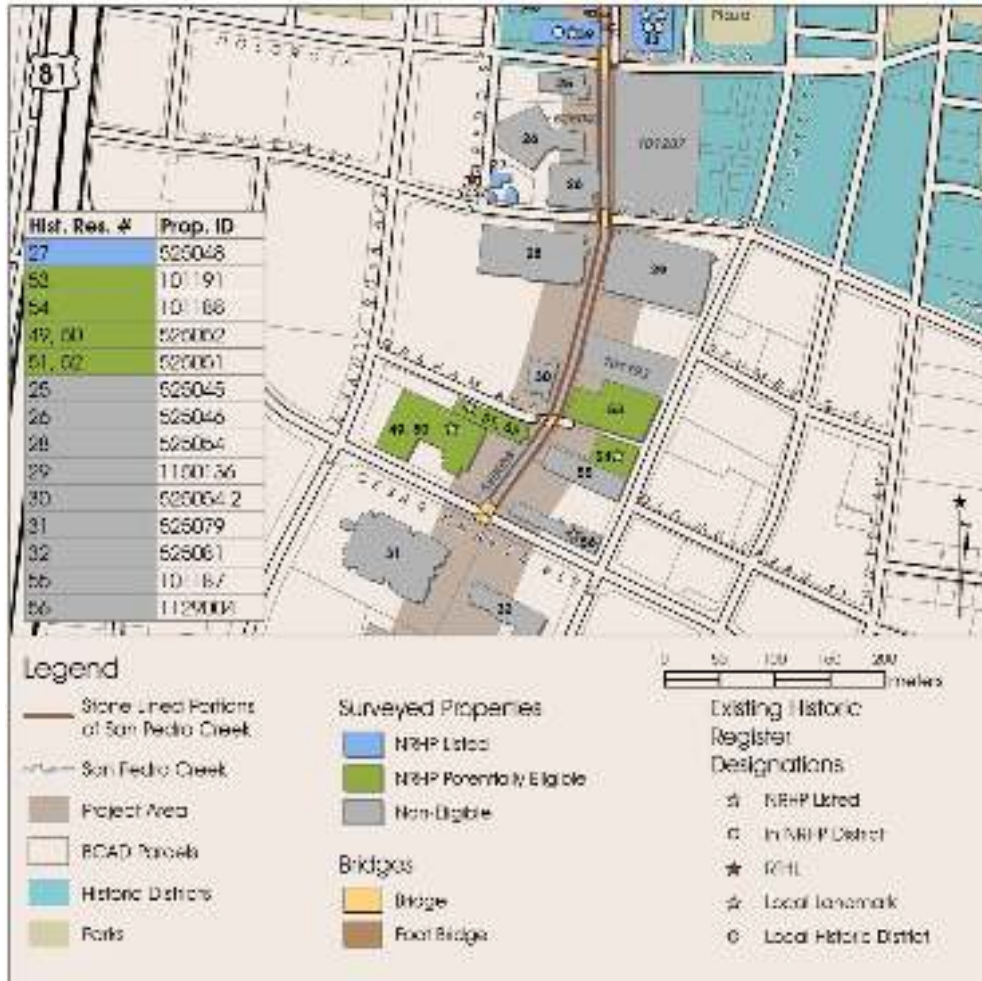


Figure 6-3. The APE from Dolorosa Street to Durango (Cesar E. Chavez) Boulevard.

Property 525045 (Historic Resource 25)

This property (NCB 13418, Lot 2) is on the northern portion of the block, immediately south of Dolorosa Street and on the west bank of San Pedro Creek. It is listed in the BCAD as having no improvements on the property (BCAD 525045), and it belongs to Bexar County. The property is mentioned in Bexar County Deed Records (BCDR 8169:766) in 1977 and before that in a 1965 Plat (BCDR 5502:29). The property is not recommended as eligible for listing on the National Register.

Property 525047 (Historic Resource N/A) and Property 525046 (Historic Resource 26)

Property 525046 and 525047 are located on the same lot. According to the BCAD, the detention center was built in 1970 (BCAD 525047). Records from the Bexar County Clerk Office indicate that property 525046 was constructed around 1990 (BCDR 4905:1362). In 1990, the property (NCB 13418, Lot 3) was conveyed to Bexar County by the City of San Antonio (BCDR 4905:1362). Neither property is recommended as eligible for listing on the National Register.

Property 525048 (Historic Resource 27)

This property is located at the corner of Laredo and Nueva Streets (NCB 13418, Lot 4; BCAD 525048). The property consists of a three building complex with a house, detached kitchen, and a two-story office, and they were the house and office of José Antonio Navarro (1795-1871), a lawyer and a native-born signer of the Texas Declaration of Independence. The improvements on the land date to ca. 1950. The property is already listed on the National Register.

Property 525054 (Historic Resource 28) and Property 525054.2 (Historic Resource 30)

This property (NCB 1314, Lot 8) is occupied by the San Antonio Police Headquarters. According to the San Antonio Police Department website, which discusses the history of the department, Property 525054 was built around 1962 (SAPD 2013). A second building (525054.2) is on the property, and it consists of a mechanic shack that probably dates after 1962. The property is not recommended as eligible for listing on the National Register.

Property 1150136 (Historic Resource 29)

NCB 102 Block 2, Lot 8, (1150136) is a parking garage that belongs to Bexar County. Deed research was conducted on this property in 1990 (Cox et al. 1990). The property can be traced back to 1808 in the will of Tomas Antonio Travieso (Cox et al. 1990). The property is not recommended as eligible for listing on the National Register.

Property 525051 (Historic Resources 51 and 52), Property 525052 (Historic Resources 49 and 50), and Property 525053 (Historic Resource N/A)

Bill Miller's BBQ Enterprises currently occupies this property (NCB 13419, Lots 4, 5, 6, and 7), and it was conveyed to them by the City of San Antonio in 1987 (BCDR 4087:683). In 1973, Lot 7 was conveyed to Bill Miller's BBQ Enterprises by the Urban Renewal Agency of San Antonio (BCDR:7097:661). The buildings on Lots 5 and 7 are listed in the BCAD (525052) and the Sanborn Fire Insurance Maps as being built in 1950 and 1960. Lot 4 (525051) and Lot 5 were conveyed to Bill Miller BBQ Enterprises by the City of San Antonio in 1987 (BCDR 4087:683). Lot 6, (525053) runs on the west of the creek and east of property 525052, and it belongs to the SARA. Properties 525051 and 525052 are recommended as

potentially eligible for listing on the National Register. Property 525053 is not recommended as eligible for listing on the National Register.

Property 1129004 (Historic Resource 56), Property 101187 (Historic Resource 55), and Property 101188 (Historic Resource 54)

NCB 102 (Block 2, Lot 18) is listed by the BCAD (11290004) as having one building that dates 1942. The property is currently owned by Ace Mart Restaurant Supply. Two properties make up NCB 102, Lot E, and one structure on NCB 102, Lot E, was built in 1930 (BCAD 101187). Just north of this property is the remainder of NCB 102, Lot E. It consists of an apartment building that dates to 1912 (BCAD 101188) and is currently owned by Milmo Investments. The property was conveyed to Jack W. Neal in 1919 by C.W. Moody (BCDR 596:39). These properties were recorded in 1932 when they were conveyed to Jack C. Neal by Jack W. and Bennie Neal (BCDR 1307:500). Properties 1129004 and 101187 are not recommended as eligible for listing on the National Register. Property 101188 is recommended as potentially eligible for listing on the National Register.

Property 101191 (Historic Resource 53)

Currently the property (NCB 102, Lot NE) has one storage warehouse that dates to 1923 (based on the Sanborn Fire Insurance Map). It opened as the Straus Frank Company, which manufactured and distributed auto parts, radios, and household appliances. A one-story addition was added to the property in 1946 (San Antonio Conservation Society 1982). The property is currently owned by Brazos De Santos Partner Ltd. (BCAD 101191). In 1923, a strip of the land was conveyed to the San Antonio Belt and Terminal Railway by the Straus Frank Company (BCDR 719:156). In 1929, Straus Frank Company granted to land to the City of San Antonio (BCDR 1171:607). In 1930, a portion of the property, described as Lot 4, was conveyed to Jack W. Neal by Straus Frank Company (BCDR 1179:606). In 1950, a portion of the property was conveyed to Lillian Murray by Straus Frank Company (BCDR 2951:89). The property was conveyed to Clint Palmer, Jack Charles, and Randy R. Dym in 1983 by Marvin G. Kelfer, U.W. Tuttle, and Morris Kelfer (BCDR 2751:962). The Miller Brothers Partnership granted the land to Brazos De Santos Ltd. in 1995 (BCDR 6525:2040). The property is recommended as potentially eligible for listing on the National Register.

The APE from Durango (Cesar E. Chavez) Boulevard to El Paso/W. Arsenal Streets

This portion of the project area includes the properties between Durango (Cesar E. Chavez) Boulevard and El Paso/Arsenal Streets (Figure 6-4). In this part of the project area, the creek runs beneath the structures. There are three properties that contain hotels within this portion of the project area.



Figure 6-4. *The APE from Durango (Cesar E. Chavez) Boulevard to El Paso/W. Arsenal Streets.*

Property 525079 (Historic Resource 31)

This property (NCB 13422, Lot 4) is just south of Durango (Cesar E. Chavez) Boulevard and east of Santa Rosa Avenue. A Courtyard hotel occupies this land, and it was constructed in 1989 (BCAD 525079). The property was conveyed in 1996 by Courtyard of Marriot II LTD Partnership to Courtyard II Associates LP (BCDR 6658:1375). The property is not recommended as eligible for listing on the National Register.

Property 525081 (Historic Resource 32)

This property (NCB 13422, Lot 6) is located at the corner of Durango (Cesar E. Chavez) Boulevard and Flores Street (BCAD 525081). Currently, a La Quinta Inn that dates to 1998 occupies the property (BCDR 525081). In 2004, B&G Realty granted the property to Marcus Consid, LLC (BCDR 10874:187). Marcus Consid, LLC granted the land to Woodfield Properties LLC the same year (BCDR 10977:1023). In 2006, Woodfield Properties LLC conveyed the land to BRE/LQ TX Properties (BCDR 11953:750). The property is not recommended as eligible for listing on the National Register.

Property 525082 (Historic Resource 33)

A Residence Inn hotel that dates to 1994 currently occupies the property (NCB 13422, Lot 7; BCAD 525082). This property is just south of Courtyard hotel (525079) and La Quinta Inn (525081). Dean V. White conveyed the land to Hotel Properties Texas, LP in 1998 (BCDR 7473:164). In 2006, Hotel Properties Texas, LP granted the land to RLJ II-R San Antonio, LP (BCDR 12221:170). The property is not recommended as eligible for listing on the National Register.

Property 525073 (Historic Resource 36)

This property (NCB 13422, Lot 1) is just north of El Paso Street and within a neighborhood shopping center. According to the BCAD, one the buildings that falls into the APE dates to approximately 1960, and it is occupied by a Sherwin Williams paint store. The property was conveyed to Jennifer Rowe and Brian Levy in 2009 (BCDR 14275:1796). The land was conveyed to Mirian Soble and Stanley D. Rosenburg in 1992 (BCDR 5477:92). The property is not recommended as eligible for listing on the National Register.

Property 110152 (Historic Resource 34), Property 110153 (Historic Resource 34), and Property 110154 (Historic Resource 34)

Historic Resources 110152, 110153, and 110154 are recorded on a single Standing Structure Survey Form. The three structures adjoin Property 110153 identified with Map ID 17 on Figure 6-4.

The building (NCB 916, Lot 6) was built ca. 1922 according to City Directories, and it opened as the A. I. Root Company, managed by B.L. Solomon, and produced bee supplies. Amos Ives Root founded the Ohio based company in 1869 as a bee keeping supplies manufacturer, making it one of the oldest “family owned candle companies in the country” (*San Antonio Express News*, 15 October 2007; *San Antonio Express News*, 29 September 1989). Locally, the company was significant for its role in candle making, and it was in operation for over 88 years. It is currently owned by HEB Grocery CO LP (BCAD 110152).

According to a Mechanics Lien (BCDR 61:363), William Orth constructed the building in 1923 for owners Max and Albert Grimm. Satex Seed Company occupied the building from the 1920s through the 1950s. It is currently owned by HEB Grocery CO LP (BCAD 110153).

Built ca. 1923 according to San Antonio City Directories, the building (NCB 916, Lot 6) opened as the Merchant Paper Specialty Company and the San Antonio Fisher Paper Co. Over time, several businesses operated out of the building, such as Van Hoogenhuize Hardware and Federal Envelope Co., until the building eventually became part of the A.I. Root complex. It is currently owned by HEB Grocery CO LP, who purchased the A.I. Root complex in 2007 (BCAD 110154).

All three properties are recommended as potentially eligible for listing on the National Register.

Property 110161 (Historic Resource 35)

The building was constructed in 1925 (Sanborn Fire Insurance Maps; NCB 916 Lots A9 and A10), and it opened as the Heusinger Hardware Co. It operated as a variety of businesses, such as Quaker Oats Company and Oatman's San Antonio Wholesale. HEB Grocery CO LP owns the building (BCAD 110161), and it is currently occupied by the Azteca TV station. The property is recommended as potentially eligible for listing on the National Register.

Property 110160 (Historic Resource 72)

This property (NCB 916, Lot A11) is just north of El Paso Street and along S. Flores Street. The property dates to 1940 according to the BCAD and is owned by HEB Grocery CO LP. In 1983, Philip M. Barshop had sold the land to Frank Liberto (BCDR 2835:563). Later that same year, Frank Liberto conveyed the land to Liberto Real Estate Ltd. (BCDR 9985:28). The property is recommended as potentially eligible for listing on the National Register.

Property 110163 (Historic Resource 41)

Multiple buildings located on Property 110163 share a party wall. One building with two bays, facing South Flores Street on the east side, opened ca. 1926 (City Directory) as Bosbyshell Auto Supply and Ornsby Chevrolet Used cars. Over the years, both spaces were occupied by other businesses, such as Hawkinson Tire Service and San Antonio Refrigerator Repair Company. HEB Grocery CO LP currently owns the property (BCAD 110163).

The second building, located at the corner of El Paso and South Flores Streets, was constructed in 1919 (based on the Sanborn Fire Insurance Maps), and it opened as a Goodyear Tire and Rubber Co. warehouse. From the 1930s Van Hoogenhuize Hardware took over the building and combined it with the smaller structure sharing the party wall. It is currently owned by HEB Grocery CO LP (BCAD 110163). The property is recommended as potentially eligible for listing on the National Register.

The APE from El Paso/W. Arsenal Streets to Guadalupe and Camp Streets

In a portion of this section of the project area, the creek is not visible at ground surface. Just a few feet north of Guadalupe Street the creek becomes visible again and is bound by two properties (Figures 6-5 and 6-6). NCB 922, Lots 8 and 9, are bound to the east by San Pedro Creek (BCAD 110273). No improvements are listed for this land, and it is owned by the SARA (BCAD 110273). The property to the west of the creek (NCB 922, Lot P-1; BCAD 110264) also has no improvements listed, and it is owned by Saldana Humberto and Associates Inc.

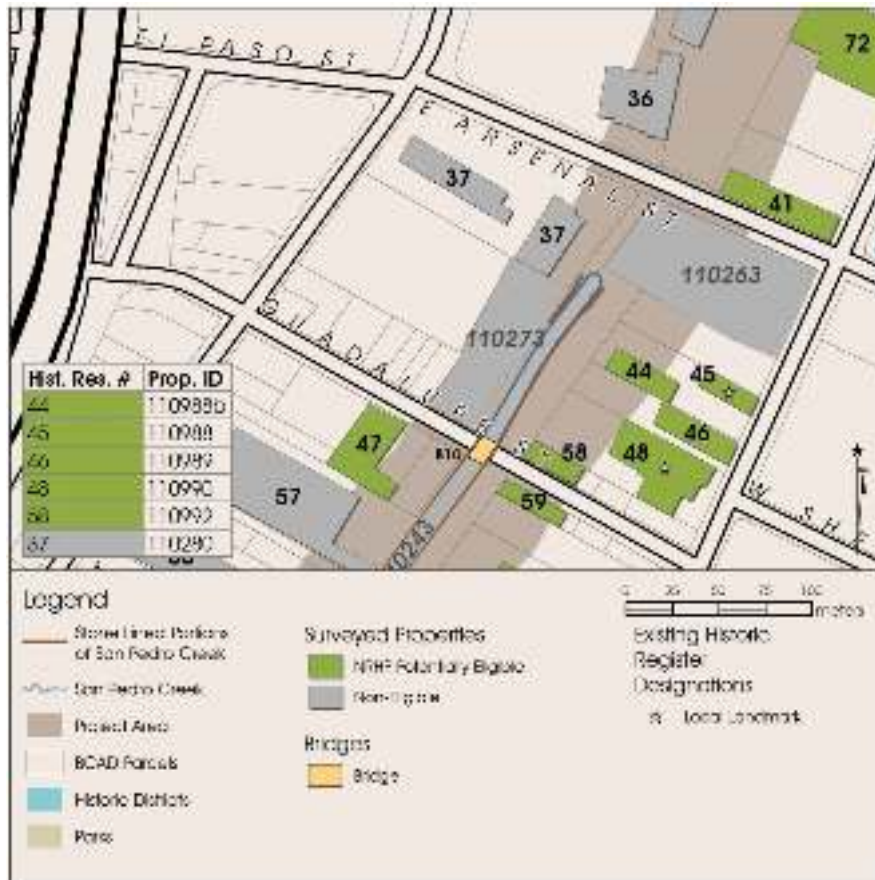


Figure 6-5. The APE from El Paso/W. Arsenal Streets to Guadalupe Street.

Property 110280 (Historic Resource 37)

Property 110280 (NCB 922, Lot 14) is owned by Butterkrust Bakery, and the land was granted in 1998 by Richter's Bakery of San Antonio, Inc. (BCDR 7562:360). According to BCAD, improvements on the land consist of two buildings (BCAD 110280). In 1961, the land was granted to Richter's Bakery by Louis A. Heder, Marie Baker Upham, and Irvine F. Upham (BCDR 4635:474). The property is mentioned in a 1915 record where a portion of the original land was granted to the San Antonio Belt and Terminal Railway Company by Mrs. Mary Heder (BCDR 453:569). The property is not recommended as eligible for listing on the National Register.

Property 110988 (Historic Resource 45)

This building (NCB 989 Lot) was constructed in 1907 by George Speidel based on architectural plans created by Leo Dielman for owners Charles and Herminia Nauwald (BCDR S:197). It served as residence for the Nauwald's and was also a Pickle factory. From the 1920s on, the downstairs operated as various manufacturing company storefronts, SA News Agency, and a drug store (City Directories). The Nauwald's continued to own/live upstairs through the 1950s. In 2007, it was renovated by Saldana Associates, and it is currently owned by Humberto Saldana & Associates Inc. (BCAD 110988). The property falls narrowly outside of the project boundaries, but it is included in this survey. The property is recommended as potentially eligible for listing on the National Register.

Property 110988b Rear (Historic Resource 44)

This building was constructed ca. 1922 (City Directory). It opened as Dittlinger Roller-Mills Company, and later, it operated as a variety of tire merchant shops, including Michelin and National Tire. It was renovated by Saldana Associates and is currently owned by Humberto Saldana & Associates INC. (BCAD 110988). The property is recommended as potentially eligible for listing on the National Register.

Property 110989 (Historic Resource 46)

Built in 1927 (Sanborn Fire Insurance Maps), it opened as the Southern Company Inc., a plumbing supply company. In the 1940s, it became Jacob's Distribution Company. Jacobs Milford N & ADA L/TR own the property, which is currently vacant. The property falls narrowly outside of the project boundaries, but it is included in this survey. The property is recommended as potentially eligible for listing on the National Register.

Property 110990 (Historic Resource 48)

Locally designated as the "Tommins House," the building first appeared in the 1892-93 City Directories, and was owned by Richard Tommins. A family member lived in the house until the late 1940s. It has been an auto repair shop since the 1950s, and Johnson James Vance, Jr. currently owns the property. The property is recommended as potentially eligible for listing on the National Register.

Property 110992 (Historic Resource 58)

The building was constructed in 1926 (City Directories). It opened as the S.W. Specialty Co. and then served as Saldana & Garza Wholesale grocery warehouse/offices. Johnson James Vance, Jr. currently owns the property. The property is recommended as potentially eligible for listing on the National Register.

Property 110236 (Historic Resource 47)

This building (NCB 921, Lots A4 and A5) was built ca. 1926 (City Directory), and it operated as the Crown Macaroni Co. through the 1950s at which time it became the Johnson Furniture Co. Warehouse. In the 1960s, the building housed the Burlap Bag Manufactory. The small structure to the right of the main building was added in 1959 (Sanborn Fire Insurance Maps). It is currently owned by JDL Custom Office

Furniture (BCAD 110236). The property is recommended as potentially eligible for listing on the National Register.



Figure 6-6. The APE from Guadalupe Street to Camp Street.

Property 110260 (Historic Resource 60)

This property is currently owned by Serene Hotels Inc. (NCB 921, Lot 26; BCAD 110260). The structure on the land consists of a hotel that was constructed in 1996. Prior to Serene Hotels Inc. purchase of the property, it belonged to S.N. Bhakta and J. Bhakta (BCDR 60029:931), and the land was conveyed from Steinreal Corporation (BCDR 60029:0931). The property is not recommended as eligible for listing on the National Register.

Property 110212 (Historic Resource 64)

Currently, the property belongs to the United States Postal Service, and it is the location of one of its branch offices. The structure on the land is not eligible for NRHP, though no deed records could be found for the property. Furthermore, the BCAD mentions no improvements on the property (BCAD 110212). The property is not recommended as eligible for listing on the National Register.

Property 1124878 (Historic Resource 71)

Judson Candy Factory Lofts (NCB 985, Lot 32) occupy this property (BCAD 1128478). According to the BCAD (1128478), the construction dates of the buildings are not listed. Deed records show that D.R. Semmes was granted the land in 1951 by Fred W. Ezell and his wife Melba Vance Ezell (BCDR: 3076:585). The property was conveyed by D.R. Semmes to Albert Dean, Jr. in 1954 (BCDR 3471:223). In 1955 Albert Dean, Jr. owned the land, and the property was discussed in a land agreement (BCDR 4955:460). The land was conveyed to Judson Lofts in 2007 by TW Downtown Central LTD (BCDR 12672:1636). The property is recommended as potentially eligible for listing on the National Register.

Property 110241 (Historic Resource 57)

This property (NCB 921 W) is located south of Guadalupe Street and faces Laredo Street. One structure is on the property, and according to the BCAD, it dates to 1975. The building is currently used as a retail store that sells religious candles. The current owner of the property, GTRE NO 110 LLC, was granted the land in 2007 by WSK Management Holdings, LLC (BCDR 12881:754). The property is not recommended as eligible for listing on the National Register.

Property 110997 and Property 110998 (Historic Resource 59)

According to City Directories, a storage warehouse that dates to 1926 is located on the property (NCB 989, Lot E). It originally opened as Erler Manufacturing Co. Whole Grocers (City Directories). In 1923, the land was conveyed to Thomas H. Franklin, Leroy G. Denman, Gilbert M. Denman, and Floyd McGown by Charles Graebner and R.W. Hamilton (BCDR 747:432). The land was granted to Mike and Paula L. Garcia in 1946 by R.W. Hamilton and George T. Allensworth (BCDR 2221:400). The land was conveyed to Harry Smith in 1948 by Mike and Paula L. Garcia (BCDR 2491:67). Deed records (BCDR 4909:397) indicate the properties were conveyed to A.D.M. Investments Co. in 1990 by Aaron Charles, Independent Executor of the Estate of Harry Smith. A.D.M. Investments Co. currently own the property (BCAD 110998 and 110997). Both properties are recommended as potentially eligible for listing on the National Register.

Property 1133591(Historic Resource 65)

The building (NCB 2561, Lot 2) was constructed ca. 1918 when the railroad was laid along the creek. According to City Directories, it opened as the City Ice & Fuel company in 1918, and they delivered ice and wood for fuel to homes, businesses, and trains. The significance of the building lies in its role as part of the ice house/manufacturing business integral to San Antonio. It remained an ice dealer for 40 years, and in 1958, Oak Farm Dairies purchased the building. It currently functions as a storage space for the Pace foundation (BCAD 1133591). The property is recommended as potentially eligible for listing on the National Register.

Property 110255 (Historic Resource 62)

This structure (NCB 921, Lots 21-23) was built in ca. 1926 (Sanborn Fire Insurance Map; City Directory). It served as the Builder's Supply Co. warehouse upon opening. There are three outbuildings, all sheds, built at different times. The one nearest Camp Street and the one at the back left corner of the plot were built in 1947. All these structures were associated with vehicles, either for storage or as an auto shop. The property is recommended as potentially eligible for listing on the National Register.

Property 1057698b (Historic Resource 63)

This property is located in Merchant Alley (NCB 2554), and it was constructed in 1940 (BCAD 1057698). The property is currently owned by Dean John H. Family Partners LTD (BCCD 6550:746). The complex is one of the few still used for industrial purposes along S. Flores Street. The property is recommended as potentially eligible for listing on the National Register.

Property 1057698-73 (Historic Resource 61)

This property is located in Merchant Alley (NCB 2554), and it was constructed in 1950 (BCAD 1057698). The property is currently owned by Dean John H. Family Partners LTD (BCCD 6550:746). The property consists of a complex of buildings in an L-shape plan. It was first used as a wholesale furniture distribution warehouse, and it is currently used commercially. The property is recommended as potentially eligible for listing on the National Register.

Chapter 7: National Register Eligibility Assessments

Within the survey area, there are three sub-zones of the cultural landscape. The southern portion of San Pedro Creek's historic vernacular landscape is defined by railroad tracks that extended north as far as Durango (Cesar E. Chavez) Boulevard. What we see today in this area can be termed light industrial, with factory and warehouse buildings characterized by street façades and entrances on the public sidewalks, all with a connection to the now-abandoned railroad tracks. In the middle of the survey area, between Durango (Cesar E. Chavez) Boulevard and Houston Street, the landscape is a mix of commercial and residential uses that reflect the urban pattern of land development typical of early to mid-twentieth-century San Antonio, including a large, public theatre complex. There is an underlying Spanish Colonial landscape evident in the area that includes residential and commercial properties, plus land-use patterns, that date back to the beginning of San Antonio as a city. The northern section of the survey area, north of Houston Street, has the least historic integrity. Infrastructure improvements made in the late twentieth century altered the cultural landscape with numerous building demolitions leaving behind some isolated historic properties, such as the Soap Works Building.

Seventy properties have been inspected within the bounds of the current San Pedro Creek Standing Structure Survey. These properties contain structures that are either partially or fully in the 300-foot project easement determined in consultation with the City's Office of Historic Preservation. Structures that fell outside of the project limits were not included in the assessment even if a portion of the property on which the structure stood, was within the project boundary. Standing Structure Survey forms were completed on each structure that fell within the project limits, and each structure was photographed. The following tables list the properties based on the eligibility recommendations made by the CAR. The THC concurs with the recommendations.

Of the 70 properties, the staff of the CAR and the CCS recommends that 35 are potentially eligible for listing on the National Register of Historic Places. Table 7-1 presents the list of these potentially eligible properties and the nine properties within the project area already listed on the National Register.

Table 7-1. Properties Recommended as Potentially Eligible for Listing on the NRHP or Already Listed on the NRHP

| Property ID | Historic Resource No. | Potentially Eligible Property | NRHP Listed | NRHP District | National Historic Landmark | RTHL | Local Historic District | Local Landmark | Property Type |
|-------------|-----------------------|-------------------------------|-------------|---------------|----------------------------|------|-------------------------|----------------|---------------|
| 101188 | 54 | X | | | | | | X | Structure |
| 101191 | 53 | X | | | | | | | Structure |
| 101213 | 17 | X | | | | | | X | Structure |
| 101214 | 19 | X | | | | | | X | Structure |
| 101215 | 18 | X | | | | | | X | Structure |
| 101216 | 16 | X | | | | | | X | Structure |
| 101217 | 14 | X | | | | | | X | Structure |
| 101219 | 21 | X | | | | | | | Structure |
| 101354 | 42 | | X | X | X | | X | X | Structure |
| 101355 | 43 | | X | X | | | X | X | Structure |
| 101426 | 12 | | | X | | | X | X | Structure |
| 101437 | 20 | | | X | | | X | X | Structure |
| 101748 | 9 | X | | | | | | X | Structure |
| 101750 | 8 | X | | | | | | X | Structure |
| 102550 | 38 | X | | X | | | | X | Structure |
| 102551 | 39 | | | X | | | | X | Structure |
| 102552 | 40 | | | X | | | | X | Structure |
| 103281 | 2 | X | | | | | | | Parking Lot |
| 103284 | 2 | X | | | | | | | Parking Lot |
| 110123 | 22 | | | X | | | | X | Structure |
| 110153 | 34 | X | | | | | | | Structure |
| 110152 | 34 | X | | | | | | | Structure |
| 110154 | 34 | X | | | | | | | Structure |
| 110160 | 72 | X | | | | | | | Structure |
| 110161 | 35 | X | | | | | | | Structure |
| 110163 | 41 | X | | | | | | | Structure |
| 110236 | 47 | X | | | | | | | Structure |
| 110255 | 62 | X | | | | | | X | Structure |
| 110988 | 45 | X | | | | | | X | Structure |
| 110989 | 46 | X | | | | | | | Structure |
| 110990 | 48 | X | | | | | | X | Structure |
| 110992 | 58 | X | | | | | | | Structure |
| 110997 | 59 | X | | | | | | | Structure |
| 110998 | 59 | X | | | | | | | Structure |
| 525048 | 27 | | X | | | X | | X | Structure |
| 525051 | 51, 52 | X | | | | | | X | Structure |
| 525052 | 49, 50 | X | | | | | | X | Structure |

| Property ID | Historic Resource No. | Potentially Eligible Property | NRHP Listed | NRHP District | National Historic Landmark | RTHL | Local Historic District | Local Landmark | Property Type |
|-------------|-----------------------|-------------------------------|-------------|---------------|----------------------------|------|-------------------------|----------------|---------------|
| 552131 | 7 | | X | | | X | | X | Structure |
| 1057698-73 | 61 | X | | | | | | X | Structure |
| 1124878 | 71 | X | | | | | | X | Structure |
| 1133591 | 65 | X | | | | | | | Structure |
| 101217b | 13 | X | | | | | | X | Structure |
| 1057698-b | 63 | X | | | | | | | Structure |
| 110988b | 44 | X | | | | | | | Structure |

We recommend that the 26 remaining properties are considered not eligible for NRHP listing because they either do not meet the age criteria or do not possess any of the eligibility characteristics subsumed under criteria A, B, C, or D. Table 7-2 presents a list of the properties not recommended as eligible for NRHP listing. Figures 7-1 and 7-2 provide an overview of the entire project area and depict the current or recommended eligibility status of the properties.

Table 7-2. Properties Not Recommended as Eligible for Listing on the NRHP

| Property ID | Historic Resource No. | Non Eligible Property | Property Type |
|-------------|-----------------------|-----------------------|---------------|
| 101187 | 55 | X | Structure |
| 101221 | 15 | X | Structure |
| 101390 | 11 | X | Structure |
| 101531 | 4 | X | Structure |
| 110124 | 23 | X | Structure |
| 110212 | 64 | X | Structure |
| 110241 | 57 | X | Structure |
| 110260 | 60 | X | Structure |
| 110280 | 37 | X | Structure |
| 525045 | 25 | X | Structure |
| 525046 | 26 | X | Structure |
| 525047 | N/A | X | Lot |
| 525053 | N/A | X | Lot |
| 525054 | 28 | X | Structure |
| 525054.2 | 30 | X | Structure |
| 525073 | 36 | X | Structure |
| 525079 | 31 | X | Structure |
| 525081 | 32 | X | Structure |

| Property ID | Historic Resource No. | Non Eligible Property | Property Type |
|--------------------|------------------------------|------------------------------|----------------------|
| 525082 | 33 | X | Structure |
| 552125 | 3 | X | Structure |
| 552129 | 5 | X | Structure |
| 552133 | 10 | X | Structure |
| 1150136 | 29 | X | Structure |
| 1099015 | 24 | X | Structure |
| 1129004 | 56 | X | Structure |
| 552131b | 6 | X | Structure |

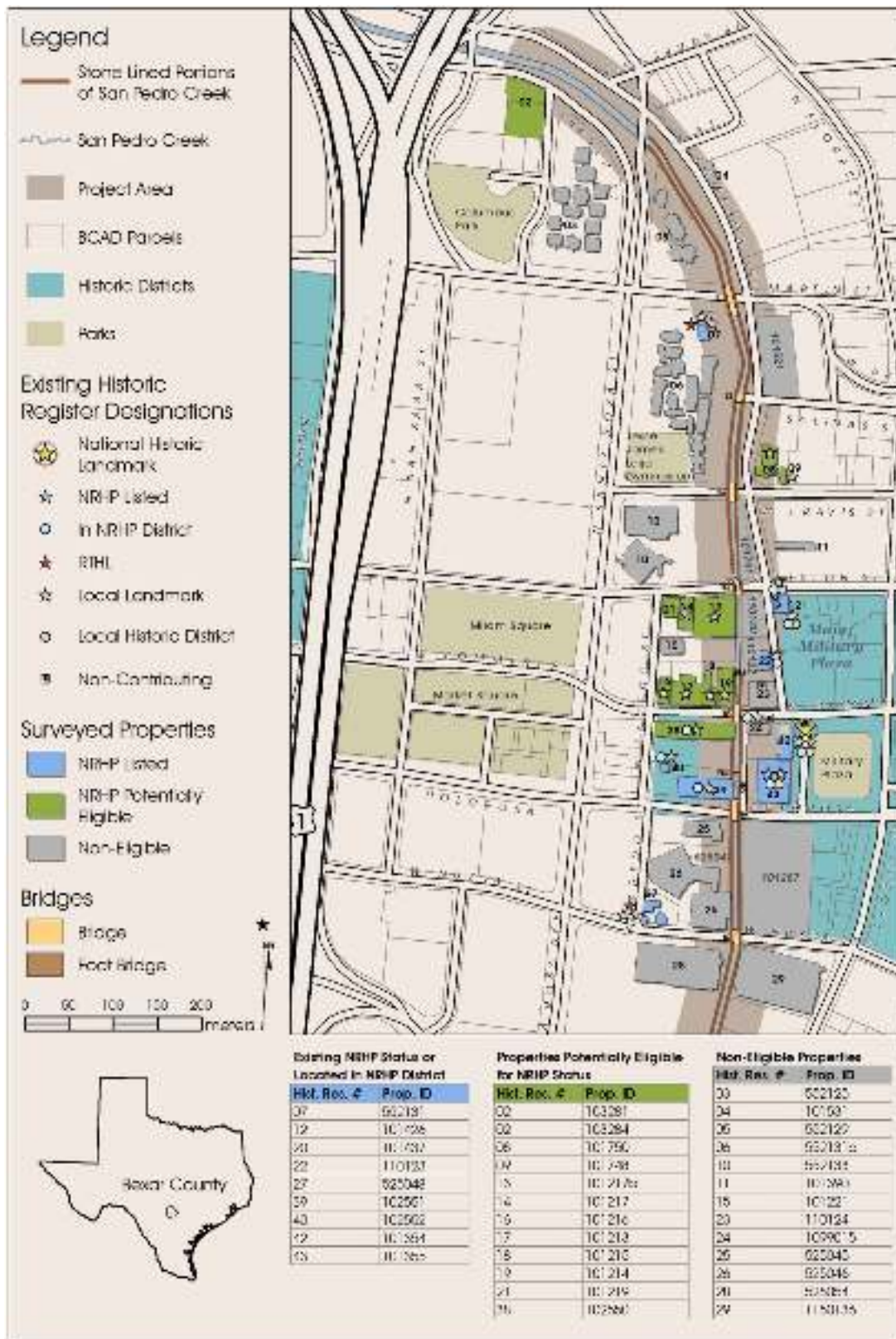


Figure 7-1. Historic properties documented during the Standing Structure Survey and their proposed NRHP eligibility status (northern half of project area).



Figure 7-2. Historic properties documented during the Standing Structure Survey and their proposed NRHP eligibility status (southern half of project area).

In addition to the properties that consist of structures and lots, 15 bridges were examined. Twelve of these were combination pedestrian and vehicular traffic bridges, and the other three were footbridges or small vehicle bridges. Table 7-3 lists the recommended NRHP eligibility status for each bridge.

Table 7-3. Recommended NRHP Eligibility Status of Bridges within the Project APE

| Bridge ID Number | Location | Potentially Eligible Property | Non Eligible Property | Property Type |
|-------------------------|--|--------------------------------------|------------------------------|----------------------|
| 1 | W. Martin Street | | X | Bridge |
| 2 | W. Salinas Street | X | | Bridge |
| 3 | W. Travis Street | | X | Bridge |
| 4 | W. Houston Street | X | | Bridge |
| 5 | W. Commerce Street | | X | Bridge |
| 6 | Dolorosa Street | | X | Bridge |
| 7 | W. Nueva Street | X | | Bridge |
| 8 | Graham Avenue | X | | Bridge |
| 9 | W. Durango (Cesar E. Chavez) Boulevard | | X | Bridge |
| 10 | Guadalupe Street | | X | Bridge |
| 11 | Camp Street | | X | Bridge |
| 12 | S. Alamo Street | | X | Bridge |
| Footbridge 1 | W. Houston Street and W. Commerce Street block | X | | Footbridge |
| Footbridge 2 | W. Commerce Street and Dolorosa Street block | X | | Footbridge |
| Footbridge 3 | W. Commerce Street and Dolorosa Street block | X | | Footbridge |

Finally, the retaining wall segments stretching along the project APE have been inspected, and their eligibility for listing on the NRHP has been assessed (Table 7-4).

Table 7-4. Proposed NRHP Eligibility of Retaining Wall Segments along Portions of San Pedro Creek within the APE

| Location | West Bank | Potentially Eligibility | East Bank | Potentially Eligibility |
|--|--|--------------------------------|---|--------------------------------|
| N. Santa Rosa Avenue to Martin Street | Rock | Yes | Rock | Yes |
| Martin to Salinas Streets | Rock under cement veneer | Yes | Concrete | No |
| Salina to Travis Streets | Formed concrete | No | Rock | Yes |
| W. Travis to W. Houston Streets, center of block | Concrete | No | Concrete (north 2/3); Rock with concrete parapet (southern 1/3) | Yes |
| W. Houston to W. Commerce Streets, north end of block (Alameda Theater) | Concrete | No | Rock | Yes |
| W. Houston to W. Commerce Streets, center of block (Alameda Stagehouse) | New concrete (currently impacted by construction) | No | Concrete | No |
| W. Houston to W. Commerce Streets, south end of block (Dollar General Store) | Rock and brick under building foundation | No | Brick culvert with concrete columns | No |
| Commerce Street Bridge | Rock and concrete | Yes | Rock and concrete | Yes |
| W. Commerce to Dolorosa Streets, north end of block | Rock under building foundation and behind cement veneer. Low concrete revetment wall | Yes | Rock (north 1/2); Concrete (south 1/2) | Yes No |
| W. Commerce to Dolorosa Streets, south end of block | Rock under peeling cement veneer | Yes | Concrete | No |
| Dolorosa to W. Nueva Streets, center of block | Rock | Yes | Concrete | No |
| W. Nueva Street to Graham Avenue, center of block | Rock | Yes | Rock | Yes |
| Graham Avenue to Durango (Cesar E. Chavez) Boulevard, center of block | Rock | Yes | Rock | Yes |
| W. Arsenal to Guadalupe Streets, center of block | Concrete (end of tunnel) | No | Rock under cement veneer | Yes |
| Guadalupe to Camp Street | Concrete | No | Concrete | No |
| West Camp Street Bridge | Natural | N/A | Natural | N/A |

The survey area for this report includes a swath of land that is 300-feet wide. It excludes numerous historic resources that are in close proximity to that survey boundary. A wider survey swath would show a cultural landscape of greater significance, perhaps revealing resources that would warrant consideration as a locally

designated historic district. This is especially the case in the light-industrial area south of Durango (Cesar E. Chavez) Boulevard that includes both sides of S. Flores Street and extends west across San Pedro Creek to include S. Laredo Street. Further research and field survey, beyond the current project, would be necessary to justify that assessment.

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Appendix 1: San Pedro Creek Standing Structure Inventory Forms

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories

General Architectural Description
 Complex of three buildings originally industrial, recently converted into lofts. The main four-story, flat-roofed building has a brick façade divided into four bays by continuous vertical pilasters. The side façade has recently added windows with balconies. The second two-story building is veneered by corrugated metal sheets. The third two-story, yellow brick building preserves intact its original features.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material Steel on façade, new aluminum
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Some historic context missing

Relationship to Surroundings

Faces S. Flores. San Pedro Creek runs along the rear of the property

Built Landscape Features

Parking lot, wall, metal fence, and pool

Natural Landscape/Site Features

Trees, creek

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Industrial, Italianate

Part of light industry area, known for its role as Judson Candy Factory.

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Level of Significance

Local

Integrity

Aspects of Integrity

- Design Setting
- Location Materials (not Reconstructed)
- Association Workmanship Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; SACS Library; Sanborn Maps

Recorder: Lombardi - Pople

Date: 30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories

General Architectural Description

One-story, yellow brick building with a rectangular plan. The main façade has a large, rectangular doorway with rectangular and squared side windows. The side facade is characterized by a sequence of rectangular windows. The first section of building has brick detailing along the roofline.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industrial Area

Relationship to Surroundings

The rear façade is near the San Pedro Creek

Built Landscape Features

Rock wall; hydrant

Natural Landscape/Site Features

Isolated trees

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Industrial

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Opened as Southern Company Inc., plumbing supply, but was occupied by a series of tire merchants. It is significant as part of the industrial area that developed following the railroad.

Level of Significance

Local

Integrity

Aspects of Integrity

- Design
- Setting
- Location
- Materials (not Reconstructed)
- Association
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark
- Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; Sanborn Maps

Recorder: Lombardi - Pople

Date:

30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 One-story yellow brick, flat-roofed building, with rectangular plan elongated toward the creek. The main façade has a large central segmented arched doorway and rectangular and squared side windows. The side façade has a sequence of rectangular windows as well as a more recent semicircular glassed addition.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Original/Historic Doors
 Secondary Ext. Wall Material Door Type
 Roof Massing

 Roof Material

 Foundation Type

 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industrial Area

Relationship to Surroundings

The rear façade is around 12 feet from San Pedro Creek

Built Landscape Features

Fences enclosing stone wall on S. Flores

Natural Landscape/Site Features

Isolated trees

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Industrial

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Opened as Dittlinger-Roller Mills, then was occupied by a series of tire merchants. It is significant as part of the industrial area that developed following the railroad.

Level of Significance

Local

Integrity

Aspects of Integrity

- Design Setting
- Location Materials (not Reconstructed)
- Association Workmanship Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; Sanborn Maps

Recorder: Lombardi - Pople

Date:

21-Jan-13



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 One-story, brick, flat-roofed commercial building characterized by a rectangular plan. The main façade has a centered, segmented, arched doorway. There are small squared windows along most façades.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industry Area

Relationship to Surroundings

Between E. Guadalupe and San Pedro Creek

Built Landscape Features

Parking lot

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Spanish Colonial Revival

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Significant for its role in industry area, as it operated as Crown Macaroni Co. through the 1950s. After which it became a Warehouse and Burlap Bag Manufactory.

Level of Significance

Local

Integrity

Aspects of Integrity

- Location
- Association
- Design
- Materials (not Reconstructed)
- Workmanship
- Setting
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- Local Historic District
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; Sanborn Maps

Recorder: Lombardi - Pople

Date:

30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 Two-story, late 19th century, front-gabled, brick house characterized, on the front facing South Flores, by a 1940s one-story, concrete addition with a car port. The corner entrance of the one-story addition is defined by two vertical elements that are typical of the period. One of the three existing 19th century houses of the neighborhood preserves its original door and window, even if in precarious



Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material Wooden doors
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing Second Empire wooden doors
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industry Area

Relationship to Surroundings

Structures face S. Flores

Built Landscape Features

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Industrial

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

The whole complex, composed by the two buildings, can be considered historic and reflects the transformation of the neighborhood throughout time.

Level of Significance

Local

Integrity

Aspects of Integrity

- Design Setting
- Location Materials (not Reconstructed)
- Association Workmanship Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark

- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark

- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; SACS Library; Sanborn Maps

Recorder: Lombardi - Pople

Date:

30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories:
 General Architectural Description
 Three-story, rectangular plan, flat-roofed, concrete frame, brick warehouse. The façade is classically proportioned since divided by pilasters surmounted by concrete classical ornamental blocks, and a parapet is topped by a continuous concrete cornice. On the first floor all openings are closed. The side and the rear façade are painted with a white wash.



Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material

 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing

 Roof Material

 Foundation Type

 Other Elements' Types and Material

 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industry Area

Relationship to Surroundings

Located at the intersection between S. Flores and W. Arsenal

Built Landscape Features

Parking lot

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Vacancy

Significance

Type of Significance

Style/Influence Industrial

Part of light industrial area that grew following addition of the railroad and flood.

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Level of Significance

Local

Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Association
- Materials (not Reconstructed)
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark

- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark

- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; SACS Library; Sanborn Maps

Recorder: Lombardi - Pople

Date:

16-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use General Architectural Description
 Dimensional Data
 Plot Surface
 No. of Stories
 Two-story, rectangular plan, flat-roofed, concrete framed building with red brick veneer on the main façade and factory made iron and glass windows. The main façade has three bays, and the entrance is located in the proximity of the corner. The side façade has small, rectangular windows on both floors.



Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing

 Roof Material

 Foundation Type

 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings

Built Landscape Features

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Level of Significance

Integrity

Aspects of Integrity

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Location | <input checked="" type="checkbox"/> Design | <input checked="" type="checkbox"/> Setting |
| <input type="checkbox"/> Association | <input checked="" type="checkbox"/> Materials (not Reconstructed) | <input type="checkbox"/> Workmanship |
| | | <input checked="" type="checkbox"/> Feeling |

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark

- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark

- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; Sanborn Maps

Recorder: Lombardi - Pople

Date:

16-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 Large one- and two-story commercial complex composed of several buildings built in different time periods. Parapets on some buildings are characterized by Spanish Colonial decoration.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings

Built Landscape Features

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Level of Significance

Integrity

Aspects of Integrity

- Location
- Association
- Design
- Materials (not Reconstructed)
- Workmanship
- Setting
- Feeling

Integrity Evaluation

- Low (1-2)
- Medium (3-4)
- High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark

- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark

- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; Sanborn Maps;

Recorder: Lombardi - Pople

Date:

30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County

City

Historic Name

Complex/Site Name

Property ID Geo ID

Address

Resource Type: Building Object Site Structure

Historical Data

Construction Date actual estimated

Moved-Date

Former Location

Modifications Date

Addition Date

Architect Builder/Owner

First Use

Other Historic Use

Description

Current Use

General Architectural Description

Dimensional Data

Plot Surface

No. of Stories

Construction Technique and Details

Structural System Original/Historic Windows

Primary Ext. Wall Material Window Type

Secondary Ext. Wall Material Original/Historic Doors

Roof Massing Door Type

Roof Material

Foundation Type

Other Elements' Types and Material

Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Main/Military Plaza Historic District

Relationship to Surroundings

Faces onto Houston

Built Landscape Features

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence

Vernacular

- a. Event
b. Person
c. Design/Construction
d. Information Potential

Historic building with several transformations that do not allow identification of significance.

Level of Significance

Local

Integrity

Aspects of Integrity

- Design Setting
Materials (not Reconstructed)
Location Association Workmanship Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Historic District Local Landmark
RTHL - Registered Texas Historic Landmark
SAL - State Archaeological Landmark
National Reg. Listed Property
National Reg. Historic District
National Historic Landmark
Potentially Eligible for NR Listing
Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; Sanborn Maps

Recorder: Lombardi - Pople

Date:

20-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 Four-story complex, ground floor is punctuated by large plate glass windows and tile. Upper floors have continuous window bands framed by terracotta decoration. Front two pilasters decorated with aluminum and topped by a stepped panel of terracotta work with initials.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material

 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing

 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

West side of San Pedro Creek in the "Laredito" neighborhood

Relationship to Surroundings

Rear façade faces San Pedro Creek; front façade faces Houston

Built Landscape Features

Other: Colored and designed "terrazzo" pavement

Natural Landscape/Site Features

None

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Vacancy

Significance

Type of Significance

Style/Influence Art Deco Influences

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Superb 1940s architecture with design elements of streamline Deco style and indigenous architecture from Southwest, USA, and Mexico

Level of Significance

Local/State

Integrity

Aspects of Integrity

- Design
- Setting
- Location
- Materials (not Reconstructed)
- Association
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; SACS Resource Survey; Sanborn Maps

Recorder: Lombardi - Pople

Date:

20-Jan-13



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

| Current Use | General Architectural Description |
|---|--|
| <input type="text" value="Law office"/> | Two-story commercial structure, with limestone blocks in the lower level and with brick pilasters and classical stepped brick cornice in the upper level added in 1883. The parapet is arch shaped in the central bay. Rear façade is veneered with yellow bricks, and it is characterized by five modern rectangular windows. |
| Dimensional Data | |
| Plot Surface <input type="text"/> | |
| No. of Stories <input type="text" value="2"/> | |



Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Next to Military Plaza Historic District

Relationship to Surroundings

Faces onto Camaron Street with San Pedro Creek to the rear

Built Landscape Features

Parking lots on three sides

Natural Landscape/Site Features

One tree



Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Italianate

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

One of several ice manufacturing businesses along San Pedro Creek. The building is also known for its role as Artes Graficas. Beautiful example of commercial building, its rear portion was demolished during 1970 renovation.

Level of Significance

Local



Integrity

Aspects of Integrity

- Location
- Association
- Design
- Materials (not Reconstructed)
- Workmanship
- Setting
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; SACS Resource Survey; Sanborn Maps

Recorder: Lombardi - Pople

Date:

20-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use General Architectural Description
 One-story structure with large storefront windows and colorful tiles with repetitive pattern at the base. Thick concrete parapet cantilevering from the window. It is an annex of the Alameda Theater. The façade and sidewalk have tile and glass inlays.
 Dimensional Data
 Plot Surface
 No. of Stories

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material

 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context
West side of San Pedro Creek, in the "Laredito" neighborhood

Relationship to Surroundings
Facing W. Houston

Built Landscape Features
Concrete tile pavement, not original

Natural Landscape/Site Features
None

Possible Threats

Physical Condition
 Very Poor Poor Fair Good

Other Threats - if any
Vacancy

Significance

Type of Significance
Style/Influence Art Moderne

a. Event
 b. Person
 c. Design/Construction
 d. Information Potential

The design borrows elements of Modern style, Mexican, and Mexican American architecture. It was build at the same time as the Teatro Alameda.

Level of Significance
Local and State

Integrity

Aspects of Integrity

Location Design Setting
 Association Materials (not Reconstructed) Feeling
 Workmanship

Integrity Evaluation
 Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

Local Landmark Local Historic District
 RTHL - Registered Texas Historic Landmark
 SAL - State Archaeological Landmark

National Reg. Listed Property
 National Reg. Historic District
 National Historic Landmark

Potentially Eligible for NR Listing
 Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; SACS Resource Survey; Sanborn Maps
Recorder: Lombardi - Pople Date: 20-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use General Architectural Description

 Dimensional Data
 Plot Surface
 No. of Stories



Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Brick (yellow)
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

On west side of creek, near Menger Soap Works

Relationship to Surroundings

Facing Travis

Built Landscape Features

Building lot protected by concrete fence; parking lot next to rear façade

Natural Landscape/Site Features

Trees



Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Romanesque revival

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Beautifully detailed building in its architectural decoration. Public school No. 1 (Sam Houston) serving a neighborhood that is now demolished. Gymnasium at rear of lot.

Level of Significance

Integrity

Aspects of Integrity

- Design
- Setting
- Location
- Materials (not Reconstructed)
- Association
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; Sanborn Maps

Recorder: Lombardi - Pople

Date:

25-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

General Architectural Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories

Two-story, brick, commercial-row building with rectangular plan. Alamo motif shaped parapet on both of the corners of the main façade on Dolorosa. The first floor is a series of plate glass storefront windows protected by a canopy all along the façade. The second floor has treated rectangular windows, single or paired.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Between San Pedro Creek and Laredo Creek; covers most of block

Relationship to Surroundings

Faces Dolorosa

Built Landscape Features

Asphalt pavement

Natural Landscape/Site Features

Tree; creek on one side



Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence **Mission Revival**

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Beautiful example of its style. It is a work of one of the most prominent and prolific local architects. The building was occupied by Casino Mexicano Inc. from 1929 to early 1930s and later hosted the Library of the Mexican Consulate and Mexican Chamber of Commerce.

Level of Significance

Local and State



Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Materials (not Reconstructed)
- Association
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)



Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

DRT Library; ITC; SACS; SAPL

Recorder: Lombardi - Pople

Date:

30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories

General Architectural Description

Small, vernacular one-story masonry building with side-gabled roof and a portico on the long side. The façades are stuccoed. The house is surrounded by a parking lot.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Near the Main/Military Plaza Historic District

Relationship to Surroundings

In a parking lot, facing S. Laredo

Built Landscape Features

Asphalt parking lot

Natural Landscape/Site Features

Isolated tree; creek in rear across parking lot



Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Vernacular

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Probably the oldest residence left standing in San Antonio, related to one of the most prominent S.A. families. Headquarters for Colonel Johnson and Colonel Milam during the Battle of San Antonio, 1835.

Level of Significance

State



Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Association
- Materials (not Reconstructed)
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; Sanborn Maps

Recorder: Lombardi - Pople

Date:

25-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect
 Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 Other Historic Use



Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Surrounded by 20th century construction that diminishes integrity

Relationship to Surroundings

At the corner of S. Laredo and Nueva

Built Landscape Features

Fences: wood and steel

Natural Landscape/Site Features

Trees



Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any



Significance

Type of Significance

Style/Influence Vernacular

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

House and office of Lawyer Jose Antonio Navarro (1795-1871), native born signer of the Texas Declaration of Independence.

Level of Significance

State

Integrity

Aspects of Integrity

- Design Setting
- Location Materials (not Reconstructed)
- Association Workmanship Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

Koch Map; National Register; visitCasanavaro.com

Recorder: Lombardi - Pople

Date:

30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 Three-story building with elongated plan. Italianate windows and expressive stepped brick cornice at the parapet on three sides of the building. The first floor shows several opening modifications.



Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Main/Military Plaza Historic District

Relationship to Surroundings

Elongated façade faces on Commerce; southern facade on San Pedro Creek

Built Landscape Features

Parking lot in the rear

Natural Landscape/Site Features

Single tree

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Italianate

- a. Event
b. Person
c. Design/Construction
d. Information Potential

Fine example of its architectural style, and characteristic for the sophisticated use of brick decoration in the windows, mainly in the beautifully detailed upper cornice. Historic significance since it hosted several political figures of Mexican history.

Level of Significance

State

Integrity

Aspects of Integrity

- Design Setting
Location Materials (not Reconstructed)
Association Workmanship Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
RTHL - Registered Texas Historic Landmark
SAL - State Archaeological Landmark
National Reg. Listed Property
National Reg. Historic District
National Historic Landmark
Potentially Eligible for NR Listing
Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

ITC; SACS

Recorder: Lombardi - Pople

Date:

26-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

| Current Use | General Architectural Description |
|---|---|
| <input type="text" value="Museum"/> | One-story, flat-roofed structure. It has a U-shaped plan, enclosed in a rectangle, with typical Spanish colonial courtyard in the rear. The walls are three-foot thick, most probably made of stone and lime-plastered. Superb ornamental stone portal on the front façade of the building. |
| Dimensional Data | |
| Plot Surface <input type="text"/> | |
| No. of Stories <input type="text" value="1"/> | |

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Adobe
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Flat
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Main/Military Plaza Historic District

Relationship to Surroundings

On the Military Plaza corner of W. Houston

Built Landscape Features

Fence: iron; benches; tree planter

Natural Landscape/Site Features

Trees



Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

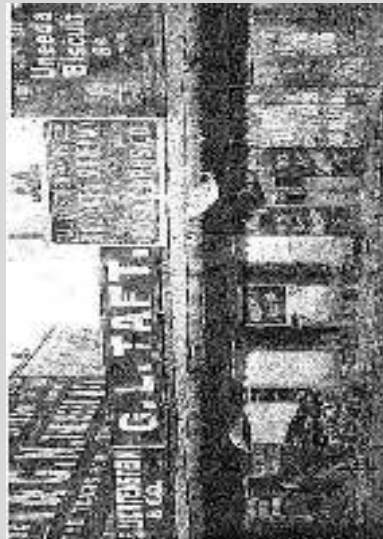
Style/Influence Spanish Colonial

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

It is the most representative building of the Spanish Colonial history of San Antonio, was built for the Captain of the Presidio. It can be considered a "manifiesto" of Spanish Colonial style due to its restoration in 1929.

Level of Significance

National



Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Association
- Materials (not Reconstructed)
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

Fisher 1996, p. 79; K. Hafertepe, 2008, p. 412; National Register

Recorder: Lombardi - Pople

Date: 19-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories:
 General Architectural Description
 Complex of four two-story buildings, all characterized by rectangular plan. The oldest part has a tripartite Italianate stone façade with concrete classical entablature. The two other structures facing on the plaza are Italianate with ornamental stone lintels on one façade, on the other with alternating color brick vossiors. The building located at the corner is stuccoed.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Main/Military Plaza Historic District

Relationship to Surroundings

Rear abuts San Pedro Creek, while the façade faces Military Plaza

Built Landscape Features

Parking lot in front; alley behind the complex

Natural Landscape/Site Features

San Pedro Creek; trees



Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Interior conditions unknown

Significance

Type of Significance

Style/Influence Italianate

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Built by a historic patron, Steves & Fest, who contributed much to the city. These buildings are not only relevant for their architectural style and quality of detail but also because they are one of the last remnants of their era in the city.

Level of Significance

Local



Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Association
- Materials (not Reconstructed)
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing



BIBLIOGRAPHY - SOURCES

ITC; SACS Library

Recorder: Lombardi - Pople

Date:

30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 One-story, yellow brick building with rectangular plan and front gabled roof on its short sides characterized by few openings.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industrial Area

Relationship to Surroundings

Corner of Guadalupe and San Pedro Creek

Built Landscape Features

Concrete driveway

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Industrial

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Location connected with the development of the railroad and related to the light industrial context of the area.

Level of Significance

Local

Integrity

Aspects of Integrity

- Design Setting
- Location Materials (not Reconstructed)
- Association Workmanship Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark

- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark

- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; Sanborn Maps

Recorder: Lombardi - Pople

Date:

30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

| | |
|---|--|
| Current Use | General Architectural Description |
| <input type="text" value="Commercial: Bill Miller Office"/> | Four-story, rectangular plan, flat-roofed, concrete frame building with red brick infill panels and factory made iron and glass windows. The main façade has five bays, and a one-story structure is attached to the north side with a white stucco finishing that also covers the first floor of the main façade. |
| Dimensional Data | |
| Plot Surface <input type="text"/> | |
| No. of Stories <input type="text" value="4"/> | |

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material Iron
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industry Area

Relationship to Surroundings

Entrance faces S. Flores; rear of the building faces San Pedro Creek

Built Landscape Features

Asphalt parking lot along long side

Natural Landscape/Site Features

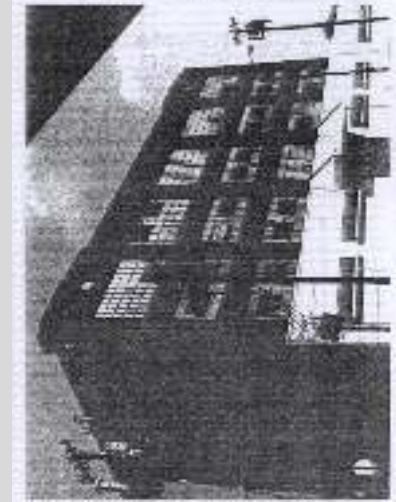
Rear of building abuts San Pedro Creek, which has trees and grass

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any



Significance

Type of Significance

Style/Influence Industrial

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Industrial building constructed by Strauss-Frank who selected this location for his business - distribution of auto parts, radios and household appliances - due to the proximity of the railroad.

Level of Significance

Local

Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Association
- Materials (not Reconstructed)
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; SACS Resource Survey; Sanborn Maps

Recorder: Lombardi - Pople

Date:

16-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories

General Architectural Description

Two-story building with rectangular plan parted in three bays on the front façade on Guadalupe. It has a stucco finish, with each bay colored differently, and does not allow the perception of one whole building.



Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material

 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing

 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industry Area

Relationship to Surroundings

At the corner of East Guadalupe and San Pedro Creek

Built Landscape Features

Fence

Natural Landscape/Site Features

Shrubs on one side of the building

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Spanish Colonial Revival

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

It is connected with the development of the railroad and related to the light industrial use of the area. It opened as Erler Manuf. Co. Whole Grocers.

Level of Significance

Local

Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Association
- Materials (not Reconstructed)
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; Sanborn Maps

Recorder: Lombardi - Pople

Date:

25-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 One-story brick building, characterized by a rectangular plan. Small squared windows, the main façade, facing Camp.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industry Area

Relationship to Surroundings

Between East Camp and San Pedro Creek

Built Landscape Features

Parking lot

Natural Landscape/Site Features

Trees; San Pedro Creek

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Industrial

Significant for its role as an ice and wood fuel seller to local neighborhoods and the city.

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Level of Significance

Local

Integrity

Aspects of Integrity

- Design Setting
- Location Materials (not Reconstructed)
- Association Workmanship Feeling

Integrity Evaluation

- Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

BCAD; City Directories; San Antonio *Light*

Recorder: Lombardi - Pople

Date:

30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use General Architectural Description
 Dimensional Data
 Plot Surface
 No. of Stories
 Complex with three structures. Principal one is a large stuccoed building. Its main façade is characterized by rectangular and arched windows, and a central doorway parapet of Spanish clay tiles. The other two shed buildings have rectangular plans with concrete structures and were constructed in 1947.



Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industry Area

Relationship to Surroundings

Intersection Camp and San Pedro Creek

Built Landscape Features

Natural Landscape/Site Features

Rows of trees on the San Pedro Creek

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Vacancy

Significance

Type of Significance

Style/Influence Spanish Colonial Revival

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Industrial building, the Spanish Colonial Revival style is used as a decoration for the main façade facing Camp, including the whole parapet.

Level of Significance

Local

Integrity

Aspects of Integrity

- Design Setting
- Location Materials (not Reconstructed)
- Association Workmanship Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; Sanborn Maps

Recorder: Lombardi - Pople

Date:

30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 Complex of buildings in L-shape plan. One-story, stuccoed, CMU building facing Flores Street is a later addition to the existing series of one-story, stuccoed and two-story concrete frame buildings with red brick infill. The older buildings have iron and glass industrial windows.



Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing

 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Other industrial complexes nearby

Relationship to Surroundings

Road and parking lots

Built Landscape Features

Parking lots

Natural Landscape/Site Features

None

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Industrial

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

The complex is one of the few still used for industrial purposes in the light industry area along S. Flores Street.

Level of Significance

Local

Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Association
- Materials (not Reconstructed)
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; Sanborn Maps

Recorder: Lombardi - Pople

Date:

30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Description

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use General Architectural Description
 Dimensional Data
 Plot Surface
 No. of Stories
 Two-story, commercial Italianate brick building with recent addition of a galvanized metal post-modern pediment crowning the front façade. The main façade has storefront windows on the first floor and two series of three arched windows on the second floor. Another recent addition of galvanized metal is visible on the back.

Construction Techniques and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material Wood
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industry Area

Relationship to Surroundings

Main façade faces S. Flores; now part of historic complex

Built Landscape Features

Asphalt parking lot

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Italianate

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Beautiful example of mixed-use late 19th century building. Residential second floor and commercial first floor.

Level of Significance

Local

Integrity

Aspects of Integrity

- Design
- Setting
- Location
- Materials (not Reconstructed)
- Association
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark

- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark

- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing



BIBLIOGRAPHY - SOURCES

SACS; saldanaarchitects.com

Recorder: Lombardi - Pople

Date:

22-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 Two-story, flat roofed, 19th-century Texas commercial, now stuccoed façade with classical influence. The first floor has large storefront windows modified in the 2001 renovation. The second floor has twelve rectangular windows, also modified with the addition of iron railings. The parapet is characterized by a higher element in the center of the main façade, and stepped on the side façade.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industry Area

Relationship to Surroundings

Main façade faces N. Flores Street, the rear façade is on the San Pedro Creek

Built Landscape Features

Natural Landscape/Site Features



Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Classical

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Typical Texas commercial façade with large store windows and continuous canopy. The building has been renovated as residential lofts.

Level of Significance

Local



Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Association
- Materials (not Reconstructed)
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing



BIBLIOGRAPHY - SOURCES

HDRC files; ITC; SACS Library; Sanborn maps

Recorder: Lombardi - Pople

Date:

30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

| | |
|--|---|
| Current Use <input type="text" value="Vacant: former Dollar Value"/> | General Architectural Description |
| Dimensional Data | Typical 19th-century, commercial brick façade classical in ornament. First floor is characterized by large storefront windows and stepped brick cornice at second floor. In recent years, the façade was painted in white and orange and slightly modified. |
| Plot Surface <input type="text"/> | |
| No. of Stories <input type="text" value="1"/> | |

Construction Technique and Details

| | |
|---|--|
| Structural System <input type="text" value="CMU"/> | Original/Historic Windows <input type="checkbox"/> |
| Primary Ext. Wall Material <input type="text" value="Brick"/> | Window Type <input type="text"/> |
| Secondary Ext. Wall Material <input type="text"/> | Original/Historic Doors <input type="checkbox"/> |
| Roof Massing <input type="text" value="Flat"/> | Door Type <input type="text"/> |
| Roof Material <input type="text"/> | |
| Foundation Type <input type="text" value="Concrete"/> | |
| Other Elements' Types and Material <input type="text"/> | |
| Outbuildings <input type="text"/> | |

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Near Main/Military Plaza Historic District

Relationship to Surroundings

Faces Commerce Street, on the west side of San Pedro Creek

Built Landscape Features

Asphalt pavement

Natural Landscape/Site Features

None

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Vacancy

Significance

Type of Significance

Style/Influence

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

The building is part of an historic commercial block, almost completely intact. Post-1960s modifications to upper windows consisting of wooden inserts with Alamo details to barricade windows. Operated as Kline's Shoe Co. for over 50 years.

Level of Significance

Local

Integrity

Aspects of Integrity

- Design
- Setting
- Location
- Materials (not Reconstructed)
- Association
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; ITC; SACS Resource Survey; Sanborn Maps
Recorder: Lombardi - Pople

Date: 30-Jan-13



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description



Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material

 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing

 Roof Material

 Foundation Type

 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Historic context missing/demolished

Relationship to Surroundings

San Pedro Creek runs along one long side of the building

Built Landscape Features

Parking lot and apartment complex surround the building

Natural Landscape/Site Features

Trees



Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Vernacular

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

This building is a remnant of a factory that supplied soap for much of the city and southwest Texas. This building was connected with the San Pedro Creek as a water source.

Level of Significance

Local



Integrity

Aspects of Integrity

- Design Setting
- Location Materials (not Reconstructed)
- Association Workmanship Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; ITC; National Register; Sanborn Maps
SACS Resource Survey
Recorder: Lombardi - Pople

Date: 20-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industry Area

Relationship to Surroundings

North of El Paso Street and along S. Flores Street

Built Landscape Features

Fence

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Spanish Colonial Revival

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

The property is currently owned by HEB Grocery CO LP. In 1983 the land was conveyed to Liberto Real Estate Ltd. by Frank Liberto.

Level of Significance

Local

Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Association
- Materials (not Reconstructed)
- Workmanship
- Feeling

Integrity Evaluation

- Low (1-2)
- Medium (3-4)
- High (5-6-7)

Designation and Eligibility

- Local Landmark
- Local Historic District
- RTHL - Registered Texas Historic Landmark
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- National Reg. Historic District
- National Historic Landmark
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- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

Recorder:

Date:

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

| General Architectural Description | |
|--|---|
| Current Use <input type="text" value="Commercial"/> | Two-story, yellow brick building, with a rectangular plan. It has blank façade marked at second floor by appearance of strip windows created with concrete tiles alternating with narrow windows enclosed within a continuous, thin concrete frame. The side facing directly on the creek shows old foundation walls in red bricks. |
| Dimensional Data | |
| Plot Surface <input type="text"/> | |
| No. of Stories <input type="text" value="2"/> | |



Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Near Main/Military Plaza Historic District

Relationship to Surroundings

West of San Pedro Creek, has the creek on one side, faces onto Commerce St.

Built Landscape Features

Awning; sidewalk; bridge

Natural Landscape/Site Features

San Pedro Creek

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence **International Modern**

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Built new on existing site in 1954 located on one of the main commercial streets. It is part of a historic commercial block that has all storefronts intact.

Level of Significance

Local

Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Materials (not Reconstructed)
- Association
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

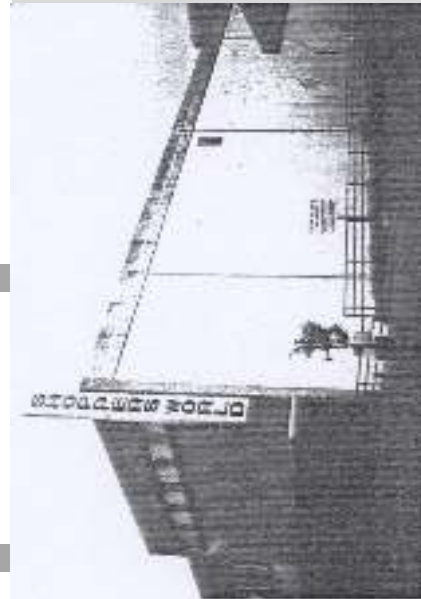
Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

ITC; SACS Resource Survey
Recorder: Lombardi - Pople

Date: 26-Jan-13



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 Two-story red brick building, its façade is divided in three bays by brick pilasters surmounted by concrete classical ornamental blocks and tied to expressive stepped-brick classical cornice at the parapet. The first floor is characterized by large storefront windows, the second floor has three series of twin squared wooden windows.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Near Main/Military Plaza Historic District

Relationship to Surroundings

Faces Commerce Street, on the west side of San Pedro Creek

Built Landscape Features

Asphalt pavement

Natural Landscape/Site Features

None

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Typical late 19th-century commercial façade in the classical style, valuable for its historical details. Part of an historic commercial block, housed a series of commercial/retail stores as well as a hotel on the second floor or rear of the property.

Level of Significance

Local

Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Materials (not Reconstructed)
- Association
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; SACS Resource Survey; Sanborn Maps

Recorder: Lombardi - Pople

Date:

22-Jan-13



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

| | |
|---|--|
| Current Use <input type="text" value="Commercial: café"/> | General Architectural Description |
| Dimensional Data <input type="text"/> | One-story, stuccoed building with large storefront windows protected by a shade canopy that wraps the corner. Tall, decorative, vertical roof ornament in the same Art Deco style of Alameda Theater. Located at the intersection between N. Laredo and Houston. |
| Plot Surface <input type="text"/> | |
| No. of Stories <input type="text" value="1"/> | |

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

West side of San Pedro Creek, within the Casa de Mexico block

Relationship to Surroundings

At the intersection N. Laredo and Houston

Built Landscape Features

Concrete pavement

Natural Landscape/Site Features

None

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence Art Deco Influences

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

The building is part of the Alameda Theater block, and it plays an important role for the integrity of the street front.

Level of Significance

Local

Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Association
- Materials (not Reconstructed)
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; SACS Library; Sanborn Maps

Recorder: Lombardi - Pople

Date:

20-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use General Architectural Description
 Dimensional Data
 Plot Surface
 No. of Stories
 Two-story, commercial, brick building. Façades marked horizontally by a classical stepped brick cornice at the second floor level and parapet. Parapet cornice is ornamented with soldier coursing. Cement tiles with repetitive classical pattern on the base.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material

 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing

 Roof Material
 Foundation Type

 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Near Main/Military Plaza Historic District

Relationship to Surroundings

Faces Commerce at the intersection with N. Laredo

Built Landscape Features

Asphalt pavement

Natural Landscape/Site Features

None

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Significant for its location and layout, it still shows the same imprint of the 19th-century Washington Theater. Longstanding as a commercial property, particularly for its use as the Leeds Store, for which it is locally designated.

Level of Significance

Local

Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Association
- Materials (not Reconstructed)
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; SACS Resource Survey; Sanborn Maps

Recorder: Lombardi - Pople

Date:

1/21/2013

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

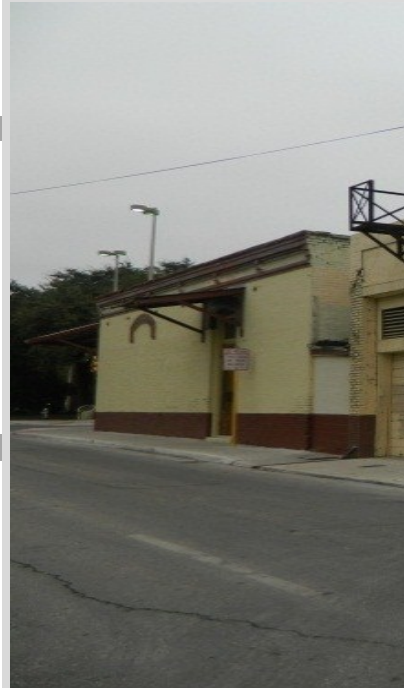
Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

| Current Use | General Architectural Description |
|--|--|
| <input type="text" value="Commercial: Tenampa Bar"/> | One-story, flat roofed, commercial building with a beautiful classical cornice wrapping the corner. On the corner, the cornice is shaped to form a small pediment. The building has a canopy all along the façade facing Houston, while on side the facing Camaron Street another canopy surmounts only the entrance door. |
| Dimensional Data | |
| Plot Surface <input type="text"/> | |
| No. of Stories <input type="text" value="1"/> | |

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context
Main/Military Plaza Historic District

Relationship to Surroundings
Faces onto Houston Street

Built Landscape Features
Asphalt pavement

Natural Landscape/Site Features
None

Possible Threats

Physical Condition
 Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance
 a. Event
 b. Person
 c. Design/Construction
 d. Information Potential

Style/Influence Italianate

Opened as a female boarding house and transformed into a saloon following the opening of the Alamo Brewing Co. directly across from it on Camaron.

Level of Significance
Local

Integrity

Aspects of Integrity
 Location Design Setting
 Association Workmanship Feeling

Integrity Evaluation
 Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

Local Landmark Local Historic District
 RTHL - Registered Texas Historic Landmark
 SAL - State Archaeological Landmark

National Reg. Listed Property
 National Reg. Historic District
 National Historic Landmark

Potentially Eligible for NR Listing
 Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; Sanborn Maps
Recorder: Lombardi - Pople Date: 30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 One-story, flat-roofed, and stuccoed industrial complex with decorative Art Deco elements on the façades facing S. Flores.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings

Built Landscape Features

Natural Landscape/Site Features

Possible Threats

Physical Condition
 Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance Style/Influence

a. Event
 b. Person
 c. Design/Construction
 d. Information Potential

The complex is one of the few still used for industrial purposes in the light industry area along S. Flores.

Level of Significance

Integrity

Aspects of Integrity

Location Design Setting
 Association Materials (not Reconstructed)
 Location Workmanship Feeling

Integrity Evaluation
 Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

Local Landmark Local Historic District
 RTHL - Registered Texas Historic Landmark
 SAL - State Archaeological Landmark
 National Reg. Listed Property
 National Reg. Historic District
 National Historic Landmark
 Potentially Eligible for NR Listing
 Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES
 City Directories; Sanborn Maps
 Recorder: Lombardi - Pople Date: 30-Jan-13

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 Complex is three adjacent buildings. One is a two-story, yellow brick, rectangular building. It is adjacent to a one-story, red brick building with large windows, today closed. The last building is partially one-story toward Flores Street, on the northern side it is two-stories high.



Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Light Industry Area

Relationship to Surroundings

Facing S. Flores, the rear façades were in close relation to the railroad

Built Landscape Features

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Vacancy

Significance

Type of Significance

Style/Influence Industrial

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

This complex was located next to the railroad station. Its significance also relates to the development of the railroad and to the light industrial use of the area. Also known for ties to A.I. Root Company and candle making.

Level of Significance

Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Association
- Materials (not Reconstructed)
- Workmanship
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark
- Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

City Directories; ITC; Sanborn Maps

Recorder: Lombardi - Pople

Date:

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SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material Likely missing
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Roof Massing Likely missing
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Downtown facing W. Travis Street

Relationship to Surroundings

Not setback from sidewalk

Built Landscape Features

Security fence: chain-link

Natural Landscape/Site Features

Few trees remain

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence International

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Level of Significance

Local

Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Materials (not Reconstructed)
- Association
- Workmanship
- Feeling

Integrity Evaluation

- Low (1-2)
- Medium (3-4)
- High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

Recorder:

Date:

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 Reinforced concrete with asphalt road surface with steel beams and railings. Large, cut limestone blocks articulate with the ends of the bridge at each of the four corners. Concrete apron protects the footing of the bridge from flood damage. Note that the vertical decorative details on the sides of the bridge mimic the wooden slats seen in the historic photo of a bridge near the same location.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Secondary Materials
 Primary Railing Material Original/Historic Doors
 Door Type
 Secondary Railing Material
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO SPRINGS HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Connected Salinas Street (currently Martin St.) to west bank of San Pedro Creek

Relationship to Surroundings

Surrounded by residential and commercial developments

Built Landscape Features

Spans across limestone-lined banks of San Pedro Creek

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Level of Significance

Local

Integrity

Aspects of Integrity

- Location
- Association
- Design
- Workmanship
- Setting
- Materials (not Reconstructed)
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

HDR Inc., Austin, Texas; SARA

Recorder: SAT

Date:

3/25/2013



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

| Current Use | General Architectural Description |
|---|--|
| <input type="text" value="Pedestrian traffic"/> | Concrete bridge surface spanning retaining walls of San Pedro Creek. Railings consist of fitted steel pipes. Concrete footing of bridge has construction date drawn in the concrete. This date does not agree with Sanborn Fire Insurance notation that a wooden bridge stood at this location until after 1951. |
| Dimensional Data | |
| Plot Surface <input type="text"/> | |
| No. of Stories <input type="text" value="N/A"/> | |

Construction Technique and Details

| | |
|--|--|
| Structural System <input type="text" value="Concrete; steel"/> | Original/Historic Windows <input type="checkbox"/> |
| Secondary Material <input type="text" value="Asphalt road surface"/> | Window Type <input type="text" value="N/A"/> |
| Primary Railing Material <input type="text" value="Fitted steel pipes"/> | Original/Historic Doors <input type="checkbox"/> |
| Secondary Railing Material <input type="text"/> | Door Type <input type="text"/> |
| Roof Material <input type="text" value="N/A"/> | |
| Foundation Type <input type="text" value="N/A"/> | |
| Other Elements' Types and Material <input type="text" value="N/A"/> | |
| Outbuildings <input type="text" value="N/A"/> | |



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context
Connects W. Salinas to parking lot on west bank of San Pedro Creek

Relationship to Surroundings
Originally served to carry vehicles and pedestrians; it is now closed to vehicles

Built Landscape Features
Spans stone retaining walls of channel of San Pedro Creek

Natural Landscape/Site Features

Possible Threats

Physical Condition
 Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance Style/Influence

a. Event
 b. Person
 c. Design/Construction
 d. Information Potential

Level of Significance
Local

Integrity

Aspects of Integrity

Location Design Setting
 Association Materials (not Reconstructed)
 Workmanship Feeling

Integrity Evaluation
 Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

Local Landmark Local Historic District
 RTHL - Registered Texas Historic Landmark
 SAL - State Archaeological Landmark

National Reg. Listed Property
 National Reg. Historic District
 National Historic Landmark

Potentially Eligible for NR Listing
 Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES
Recorder: SAT Date: 3/25/2013

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 Reinforced concrete with asphalt road surface with steel beams and railings. Large, cut limestone blocks articulate with the ends of the bridge at each of the four corners. Concrete apron protects the footing of the bridge from flood damage. Construction style similar to bridge at W. Martin.

Construction Techniques and Details

Structural System Original/Historic Windows
 Window Type
 Secondary Material
 Primary Railing Materials Original/Historic Doors
 Door Type
 Secondary Railing Material
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Connected Borage Street (currently Travis St.) to west bank of San Pedro Creek

Relationship to Surroundings

Surrounded by residential and commercial developments

Built Landscape Features

Spans across concrete veneered-walls of San Pedro Creek

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Level of Significance

Local

Integrity

Aspects of Integrity

- Location
- Association
- Design
- Workmanship
- Setting
- Feeling
- Materials (not Reconstructed)

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing
- Local Historic District

BIBLIOGRAPHY - SOURCES

HDR Inc., Austin, Texas; SARA

Recorder: SAT

Date: 3/25/2013

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure



Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use



Description

Current Use
 General Architectural Description
 Dimensional Data
 Plot Surface
 No. of Stories

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Secondary Material
 Primary Railing Materials Original/Historic Doors
 Door Type
 Secondary Railing Material
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

| | |
|--|--|
| Current Use <input type="text" value="Traffic"/> | General Architectural Description |
| Dimensional Data | Reinforced concrete with asphalt road surface. Steel I-beams support the bridge surface. Sidewalk has crushed chert pebble surfacing. Steel decorative wrought iron railings add a dimension of Victorian decor to the bridge. It is likely that the railings are a modern renovation or addition (see 1968 photo of Bridge 6 with similar railing style). |
| Plot Surface <input type="text"/> | |
| No. of Stories <input type="text"/> | |

Construction Technique and Details

| | |
|---|--|
| Structural System <input type="text" value="Concrete; steel"/> | Original/Historic Windows <input type="checkbox"/> |
| Primary Ext. Wall Material <input type="text" value="Concrete"/> | Window Type <input type="text" value="N/A"/> |
| Secondary Ext. Wall Material <input type="text" value="Wrought iron railings"/> | Original/Historic Doors <input type="checkbox"/> |
| Secondary Railing Material <input type="text"/> | Door Type <input type="text" value="N/A"/> |
| Roof Material <input type="text" value="N/A"/> | |
| Foundation Type <input type="text" value="N/A"/> | |
| Other Elements' Types and Material <input type="text" value="N/A"/> | |
| Outbuildings <input type="text" value="N/A"/> | |



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings

Built Landscape Features

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Level of Significance

Integrity

Aspects of Integrity

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Location | <input checked="" type="checkbox"/> Design | <input checked="" type="checkbox"/> Setting |
| <input type="checkbox"/> Association | <input checked="" type="checkbox"/> Materials (not Reconstructed) | <input type="checkbox"/> Feeling |
| <input type="checkbox"/> | <input type="checkbox"/> Workmanship | <input type="checkbox"/> |

Integrity Evaluation

- Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

COSA Department of Public Works; HDR Inc., Austin, Texas

Recorder: SAT Date: 3/25/2013

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

| | |
|--|---|
| Current Use <input type="text" value="Traffic"/> Dimensional Data Plot Surface <input type="text"/> No. of Stories <input type="text"/> | General Architectural Description Reinforced concrete with asphalt road surface. Steel I-beams support the bridge surface. Sidewalk has crushed chert pebble surfacing. Steel, decorative wrought iron railings similar to bridge at Commerce Street. Possible that railings are a recent renovation or addition. Plank bridge reported in 1892, asphalted bridge in 1904. |
|--|---|

Construction Technique and Details

| | |
|---|--|
| Structural System <input type="text" value="Concrete; steel"/> | Original/Historic Windows <input type="checkbox"/> |
| Primary Ext. Wall Material <input type="text" value="Concrete"/> | Window Type <input type="text" value="N/A"/> |
| Secondary Ext. Wall Material <input type="text" value="Wrought iron railings"/> | Original/Historic Doors <input type="checkbox"/> |
| Secondary Railing Material <input type="text"/> | Door Type <input type="text" value="N/A"/> |
| Roof Material <input type="text" value="N/A"/> | |
| Foundation Type <input type="text" value="N/A"/> | |
| Other Elements' Types and Material <input type="text" value="N/A"/> | |
| Outbuildings <input type="text" value="N/A"/> | |



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings

Built Landscape Features

Natural Landscape/Site Features



Possible Threats

Physical Condition
 Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance Style/Influence

a. Event
 b. Person
 c. Design/Construction
 d. Information Potential

Level of Significance

Integrity

Aspects of Integrity

| | | |
|--|---|---|
| <input checked="" type="checkbox"/> Location | <input checked="" type="checkbox"/> Design | <input checked="" type="checkbox"/> Setting |
| <input type="checkbox"/> Association | <input checked="" type="checkbox"/> Materials (not Reconstructed) | <input type="checkbox"/> Feeling |
| <input type="checkbox"/> Workmanship | | |

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

Local Landmark Local Historic District

RTHL - Registered Texas Historic Landmark

SAL - State Archaeological Landmark

National Reg. Listed Property

National Reg. Historic District

National Historic Landmark

Potentially Eligible for NR Listing

Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

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SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

| | |
|---|---|
| Current Use <input type="text" value="Vehicular and pedestrian traffic"/> Dimensional Data Plot Surface <input type="text"/> No. of Stories <input type="text"/> | General Architectural Description Reinforced concrete with asphalt road surface and steel pipe railings. Sidewalks across bridge are concrete built and roadway is asphalted. Light pole stands near center of sidewalk to illuminate area for pedestrian traffic. Two-way vehicular traffic flows across bridge. |
|---|---|

Construction Technique and Details

| | |
|---|--|
| Structural System <input type="text" value="Concrete; steel"/> | Original/Historic Windows <input type="checkbox"/> |
| Primary Ext. Wall Material <input type="text" value="Steel pipes for railing"/> | Window Type <input type="text" value="N/A"/> |
| Secondary Ext. Wall Material <input type="text"/> | Original/Historic Doors <input type="checkbox"/> |
| Secondary Railing Material <input type="text"/> | Door Type <input type="text" value="N/A"/> |
| Roof Material <input type="text" value="N/A"/> | |
| Foundation Type <input type="text" value="N/A"/> | |
| Other Elements' Types and Material <input type="text" value="N/A"/> | |
| Outbuildings <input type="text" value="N/A"/> | |



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings

Built Landscape Features

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Level of Significance

Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Association
- Materials (not Reconstructed)
- Workmanship
- Feeling

Integrity Evaluation

- Low (1-2)
- Medium (3-4)
- High (5-6-7)

Designation and Eligibility

- Local Landmark
- Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

HDR Inc., Austin, Texas

Recorder: SAT

Date:

3/25/2013

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 Reinforced concrete with asphalt road surface. Railings are a combination of concrete and welded steel pipes. Sidewalks consist of poured concrete. A wooden bridge was reported at this crossing in 1924. Wooden bridge continues to be reported through 1956 at the location.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Secondary Railing Material
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings

Built Landscape Features

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Style/Influence

Level of Significance

Integrity

Aspects of Integrity

- Location
- Design
- Setting
- Materials (not Reconstructed)
- Association
- Workmanship
- Feeling

Integrity Evaluation

- Low (1-2)
- Medium (3-4)
- High (5-6-7)

Designation and Eligibility

- Local Landmark
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- Local Historic District
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

Recorder: SAT

Date: 3/25/2013

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

| | |
|--|---|
| <p>Current Use <input type="text" value="Vehicular and pedestrian traffic"/> Dimensional Data <input type="text"/> Plot Surface <input type="text"/> No. of Stories <input type="text"/></p> | <p>General Architectural Description Reinforced concrete with asphalt road surface with steel pipes as railing along south side of bridge. Original wooden bridge built between 1911-24. The north side is an open entrance to residential neighborhoods and apartment complexes lining the east bank of the creek. This bridge sits at the northern starting point of the underground tunnel that directs the flow of the creek through from C. Chavez Street to south of W. Arsenal Street.</p> |
|--|---|

Construction Technique and Details

| | |
|--|--|
| Structural System <input type="text" value="Concrete; steel"/> | Original/Historic Windows <input type="checkbox"/> |
| Primary Ext. Wall Material <input type="text" value="Concrete"/> | Window Type <input type="text" value="N/A"/> |
| Secondary Ext. Wall Material <input type="text" value="Steel piping"/> | Original/Historic Doors <input type="checkbox"/> |
| Secondary Railing Material <input type="text"/> | Door Type <input type="text" value="N/A"/> |
| Roof Material <input type="text" value="N/A"/> | |
| Foundation Type <input type="text" value="N/A"/> | |
| Other Elements' Types and Material <input type="text" value="N/A"/> | |
| Outbuildings <input type="text" value="N/A"/> | |



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings

Built Landscape Features

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Level of Significance

Integrity

Aspects of Integrity

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Location | <input checked="" type="checkbox"/> Design | <input checked="" type="checkbox"/> Setting |
| <input type="checkbox"/> Association | <input checked="" type="checkbox"/> Materials (not Reconstructed) | <input type="checkbox"/> Feeling |
| <input type="checkbox"/> | <input type="checkbox"/> Workmanship | |

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

HDR Inc., Austin, Texas; U.S. Army Corps of Engineers, Fort Worth, Texas;

Recorder: SAT

Date:

3/25/2013

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

| | |
|---|---|
| Current Use <input type="text" value="Vehicular and pedestrian traffic"/> | General Architectural Description <input type="text" value="Reinforced concrete with asphalt road surface with steel I-beam supports and welded steel pipe railings. Concrete sidewalks facilitate pedestrian traffic across bridge and asphalted roadway provides two-way traffic."/> |
| Dimensional Data | |
| Plot Surface <input type="text"/> | |
| No. of Stories <input type="text"/> | |

Construction Technique and Details

| | |
|---|--|
| Structural System <input type="text" value="Concrete; steel"/> | Original/Historic Windows <input type="checkbox"/> Window Type <input type="text"/> |
| Primary Ext. Wall Material <input type="text" value="Concrete"/> | <input type="text" value="N/A"/> |
| Secondary Ext. Wall Material <input type="text" value="Asphalt"/> | Original/Historic Doors <input type="checkbox"/> Door Type <input type="text"/> |
| Secondary Railing Material <input type="text"/> | <input type="text" value="N/A"/> |
| Roof Material <input type="text" value="N/A"/> | |
| Foundation Type <input type="text" value="N/A"/> | |
| Other Elements' Types and Material <input type="text" value="N/A"/> | |
| Outbuildings <input type="text" value="N/A"/> | |



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings

Built Landscape Features

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Level of Significance

Integrity

Aspects of Integrity

Location Design Setting
 Association Materials (not Reconstructed) Workmanship Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

HDR Inc., Austin, Texas; U.S. Army Corps of Engineers, Forth Worth, Texas

Recorder: SAT Date: 3/25/2013

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

| | |
|---|---|
| Current Use <input type="text" value="Traffic"/> | General Architectural Description Reinforced concrete with asphalt road surface with steel I-beams and welded pipe railings. Concrete sidewalks facilitate pedestrian traffic across bridge and asphalted road surface affords two-way vehicular traffic. Columns of bridge are similar in construction to the columns supporting the entrance and exit at the tunnel of San Pedro Creek. Replaced wooden bridge that existed at location until at least 1956. |
| Dimensional Data <input type="text"/> | |
| Plot Surface <input type="text"/> | |
| No. of Stories <input type="text"/> | |

Construction Technique and Details

| | |
|--|--|
| Structural System <input type="text" value="Concrete; steel"/> | Original/Historic Windows <input type="checkbox"/> |
| Primary Ext. Wall Material <input type="text" value="Concrete"/> | Window Type <input type="text" value="N/A"/> |
| Secondary Ext. Wall Material <input type="text" value="Steel I-beams"/> | Original/Historic Doors <input type="checkbox"/> |
| Secondary Railing Material <input type="text"/> | Door Type <input type="text" value="N/A"/> |
| Roof Material <input type="text" value="N/A"/> | |
| Foundation Type <input type="text" value="N/A"/> | |
| Other Elements' Types and Material <input type="text" value="N/A"/> | |
| Outbuildings <input type="text" value="N/A"/> | |



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings
Connects S. Laredo Street to S. Flores Street near southern terminus of APE

Built Landscape Features
Spans concrete retaining walls of San Pedro Creek

Natural Landscape/Site Features

Possible Threats

Physical Condition
 Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance Style/Influence _____

- a. Event
 - b. Person
 - c. Design/Construction
 - d. Information Potential
-

Level of Significance
Local

Integrity

- Aspects of Integrity
- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Location | <input checked="" type="checkbox"/> Design | <input checked="" type="checkbox"/> Setting |
| <input type="checkbox"/> Association | <input checked="" type="checkbox"/> Materials (not Reconstructed) | <input type="checkbox"/> Feeling |
| <input type="checkbox"/> | <input type="checkbox"/> Workmanship | |

Integrity Evaluation
 Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark

- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark

- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES

Recorder: SAT Date: 3/25/2013

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
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 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

| | |
|--|--|
| <p>Current Use <input type="text" value="Traffic"/> Dimensional Data Plot Surface <input type="text"/> No. of Stories <input type="text"/></p> | <p>General Architectural Description Reinforced concrete with asphalt road surface with steel I-beams and welded wrought iron railings. Six rounded reinforced concrete piers, three on each bank of the creek, support the long span of the bridge. Concrete sidewalks provide space for pedestrian traffic and asphalted road surface is wide enough for two lanes of traffic in each direction. Lanes separated by central island divider. Original wooden bridge built sometime between 1911-24 and replaced with concrete bridge between 1924-51.</p> |
|--|--|

Construction Technique and Details

| | |
|---|--|
| Structural System <input type="text" value="Concrete; steel"/> | Original/Historic Windows <input type="checkbox"/> Window Type <input type="text" value="N/A"/> |
| Primary Ext. Wall Material <input type="text" value="Concrete"/> | Original/Historic Doors <input type="checkbox"/> Door Type <input type="text" value="N/A"/> |
| Secondary Ext. Wall Material <input type="text" value="Steel"/> | |
| Secondary Railing Material <input type="text"/> | |
| Roof Material <input type="text" value="N/A"/> | |
| Foundation Type <input type="text" value="N/A"/> | |
| Other Elements' Types and Material <input type="text" value="N/A"/> | |
| Outbuildings <input type="text" value="N/A"/> | |



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings

Built Landscape Features

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence

- a. Event
- b. Person
- c. Design/Construction
- d. Information Potential

Level of Significance

Integrity

Aspects of Integrity

- Location
- Association
- Design
- Workmanship
- Setting
- Materials (not Reconstructed)
- Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark
- RTHL - Registered Texas Historic Landmark
- SAL - State Archaeological Landmark
- National Reg. Listed Property
- National Reg. Historic District
- National Historic Landmark
- Potentially Eligible for NR Listing
- Considered Not Eligible for NR Listing
- Local Historic District

BIBLIOGRAPHY - SOURCES

HDR Inc., Austin, Texas; Texas Department of Transportation

Recorder: SAT

Date:

3/25/2013

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
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 Complex/Site Name
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 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use **General Architectural Description**
 Dimensional Data Short, reinforced concrete bridge supported by I-beams built to provide access to the back of the building. Railings consist of welded steel pipes.
 Plot Surface
 No. of Stories

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Secondary railing materials
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings
Provides access to back of Alameda Theater across creek
Built Landscape Features
Spans stone retaining walls of creek
Natural Landscape/Site Features

Possible Threats

Physical Condition
 Very Poor Poor Fair Good
Other Threats - if any

Significance

Type of Significance Style/Influence _____
 a. Event
 b. Person
 c. Design/Construction
 d. Information Potential
Level of Significance
Local

Integrity

Aspects of Integrity
 Location Design Setting
 Association Materials (not Reconstructed)
 Workmanship Feeling
Integrity Evaluation
 Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

Local Landmark Local Historic District
 RTHL - Registered Texas Historic Landmark
 SAL - State Archaeological Landmark
 National Reg. Listed Property
 National Reg. Historic District
 National Historic Landmark
 Potentially Eligible for NR Listing
 Considered Not Eligible for NR Listing

BIBLIOGRAPHY - SOURCES
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SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

| | |
|---|---|
| Current Use <input type="text" value="Pedestrian traffic"/> | General Architectural Description <input type="text" value="Short, reinforced concrete bridge supported by I-beams built to provide access to the back of the building. Railings consist of welded steel pipes."/> |
| Dimensional Data | |
| Plot Surface <input type="text"/> | |
| No. of Stories <input type="text"/> | |

Construction Technique and Details

| | |
|---|--|
| Structural System <input type="text" value="Concrete; steel"/> | Original/Historic Windows <input type="checkbox"/> Window Type <input type="text"/> |
| Primary Ext. Wall Material <input type="text" value="Concrete"/> | <input type="text" value="N/A"/> |
| Secondary Ext. Wall Material <input type="text" value="Steel I-beams"/> | Original/Historic Doors <input type="checkbox"/> Door Type <input type="text"/> |
| Secondary railing material <input type="text" value="Welded pipe railing"/> | <input type="text" value="N/A"/> |
| Roof Material <input type="text" value="N/A"/> | |
| Foundation Type <input type="text" value="N/A"/> | |
| Other Elements' Types and Material <input type="text" value="N/A"/> | |
| Outbuildings <input type="text" value="N/A"/> | |



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings
 Connects business backing to San Pedro Creek to parking and loading area

Built Landscape Features
 Spans stone retaining walls of San Pedro Creek

Natural Landscape/Site Features

Possible Threats

Physical Condition
 Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance a. Event b. Person c. Design/Construction d. Information Potential
Style/Influence

Level of Significance
 Local

Integrity

Aspects of Integrity
 Location Design Setting
 Association Materials (not Reconstructed) Workmanship Feeling

Integrity Evaluation
 Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

Local Landmark Local Historic District
 RTHL - Registered Texas Historic Landmark
 SAL - State Archaeological Landmark
 National Reg. Listed Property
 National Reg. Historic District
 National Historic Landmark
 Potentially Eligible for NR Listing
 Considered Not Eligible for NR Listing

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Recorder: SAT Date: 3/25/2013

SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Property Identification

County
 City
 Historic Name
 Complex/Site Name
 Property ID Geo ID
 Address
 Resource Type Building Object Site Structure

Historical Data

Construction Date actual estimated
 Moved-Date
 Former Location
 Modifications Date
 Addition Date
 Architect Builder/Owner
 First Use
 Other Historic Use

Description

Current Use
 Dimensional Data
 Plot Surface
 No. of Stories
 General Architectural Description
 Short, reinforced concrete bridge supported by I-beams. Built to provide access to the back of the building. Railings consist of welded steel pipes.

Construction Technique and Details

Structural System Original/Historic Windows
 Window Type
 Primary Ext. Wall Material N/A
 Secondary Ext. Wall Material Original/Historic Doors
 Door Type
 Secondary railing materials N/A
 Roof Material
 Foundation Type
 Other Elements' Types and Material
 Outbuildings



SAN PEDRO CREEK HISTORIC STANDING STRUCTURES SURVEY

Context

Associated Context

Relationship to Surroundings

Connects back of business to parking and loading area on east side of San Pedro Creek

Built Landscape Features

Spans stone retaining wall of San Pedro Creek

Natural Landscape/Site Features

Possible Threats

Physical Condition

Very Poor Poor Fair Good

Other Threats - if any

Significance

Type of Significance

Style/Influence

- a. Event
 b. Person
 c. Design/Construction
 d. Information Potential

Level of Significance

Local

Integrity

Aspects of Integrity

- Location Design Setting
 Association Materials (not Reconstructed)
 Workmanship Feeling

Integrity Evaluation

Low (1-2) Medium (3-4) High (5-6-7)

Designation and Eligibility

- Local Landmark Local Historic District
 RTHL - Registered Texas Historic Landmark
 SAL - State Archaeological Landmark
 National Reg. Listed Property
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 National Historic Landmark
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